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**ARTICLE 1 - PROJECT DESCRIPTION**

**Scope of Work**

- 1.1 The work to be performed shall consist of the construction of the Hazel Mill Road @ Richland Street Sewer Rehabilitation project for the Metropolitan Sewerage District of Buncombe County, North Carolina. The project shall generally consist of the furnishing of all services, supplies, materials and equipment, and performing of all labor for the construction and installation of approximately 3,858 L.F. of 8-inch DIP mainline sewer, including manholes and all appurtenances related thereto.
- 1.2 The work shall be performed under unit price contract, and shall consist of furnishing all materials, supplies, and equipment; performing all labor and services incidental to or necessary for the complete construction of the project in accordance with the Plans and Specifications; and maintenance of each completed portion of the work until final acceptance of the entire project by the DISTRICT, unless otherwise approved by the ENGINEER.

**ARTICLE 2 - PHYSICAL CONDITIONS/CONTRACT PLANS**

- 2.1 **Physical Conditions.** There have been no subsurface explorations or reports utilized in the preparation of these contract documents.
- 2.2 **Contract Plans.** The work shall be performed in accordance with these specifications and contract plans, which are incorporated herein as part of the contract and which are identified by the following numbers and titles:

| <u>Sheet No.</u> | <u>Description</u>                           |
|------------------|----------------------------------------------|
| PL-1             | Overall Sanitary Sewer Plan & Asphalt Repair |
| PL-2             | Sanitary Sewer Plan – Lines A&C              |
| PL-3             | Sanitary Sewer Plan – Lines A, C, F & G      |
| PL-4             | Sanitary Sewer Plan – Lines A, B, D & E      |
| PL-5             | Sanitary Sewer Profile – Line A              |
| PL-6             | Sanitary Sewer Profile – Line B              |
| PL-7             | Sanitary Sewer Profile – Line C              |
| PL-8             | Sanitary Sewer Profile – Lines D, E, F & G   |
| D-1              | Sanitary Sewer Details                       |

**ARTICLE 3 - PROJECT COORDINATION**

**3.1 Intent of Plans and Specifications**

The intent of the Plans and Specifications is to prescribe a complete work that the CONTRACTOR undertakes to do in full compliance with the Contract. The CONTRACTOR shall do all work as provided in the Plans, Special Conditions Detail Sheets, Specifications and other parts of the Contract and shall do such additional, extra, and incidental work as may be considered necessary to complete the work in a satisfactory and acceptable manner. Any work or material not shown on the Plans or described in the Specifications, but which may be fairly implied as included in any item of the Contract, shall be performed and/or furnished by the CONTRACTOR without additional charge therefore. The CONTRACTOR shall furnish all labor, materials, tools, equipment and incidentals necessary to the prosecution of the work.

**3.2 Interpretation of Estimate**

The quantities of the work and materials shown on the Proposal form or on the Plans are believed to approximately represent the work to be performed and materials to be furnished and are to be used for comparison of bids. Payment to the CONTRACTOR will be made only for the actual quantities of work performed or materials furnished in accordance with the Plans and Specifications and it is understood that the quantities may be increased or decreased as hereinafter provided without in any way invalidating the bid prices.

**3.3 Time of Completion**

The CONTRACTOR shall commence work to be performed on the project under this agreement on a date to be specified in a written Notice to Proceed from the DISTRICT and shall duly complete all work under this agreement within **Two Hundred Ten (210) consecutive calendar days** from said date. For each day in excess of the completion time limits specified above, the CONTRACTOR shall pay the DISTRICT the sum of Three Hundred Dollars (\$300.00) as liquidated damages reasonably estimated in advance to cover the losses incurred by the DISTRICT by reason of failure of said CONTRACTOR to complete the work within the time specified, such time being in the essence of this Contract and a material consideration thereof.

**3.4 Pre-Construction Conference**

Prior to starting any construction work on this project, a conference will be held in the Construction Office of the DISTRICT for the purpose of verifying general construction procedures, expediting the handling of shop drawings and schedules, and to establish a working understanding between the parties concerned on the project. Present at the conference shall be a responsible representative of the

## Section V: Special Conditions

CONTRACTOR and the CONTRACTOR's job superintendent. The time of the conference shall be as agreed upon by the CONTRACTOR and DISTRICT.

### 3.5 **Progress Meetings**

The CONTRACTOR and any subcontractors, material suppliers or vendors whose presence is necessary or requested shall attend meetings, referred to as Progress Meetings, when requested by the DISTRICT for the purpose of discussing the execution of the work. Each meeting will be held at the time and place designated by the DISTRICT. A schedule for monthly meetings will be agreed upon at the pre-construction conference. The ENGINEER will call for and schedule additional meetings if necessary. All decisions, instructions and interpretations made at these meetings shall be binding and conclusive on the CONTRACTOR and such decisions, instructions and interpretations shall be confirmed in writing by the DISTRICT.

The proceedings of these meetings will be recorded and the CONTRACTOR will be furnished with a reasonable number of copies for his use and for his distribution to the subcontractors' material suppliers and vendors involved.

- 3.6 Utility owners within the vicinity of the Project may include, but are not limited to, those listed below. The CONTRACTOR shall contact N.C. OneCall Center for utility locations within public rights of way and easements before digging, as required by NC State Statutes.

**Call NC OneCall Center, Inc. (locators for Buncombe County) at “811”.**

| <b><u>Utility / Agency</u></b>                           | <b><u>Phone</u></b>          |
|----------------------------------------------------------|------------------------------|
| Asheville Dispatch<br>City Road Closures                 | 828-252-1122                 |
| Asheville<br>Public Works Department<br>Streets Division | 828-232-4567<br>828-259-5852 |
|                                                          | Chad Bandy 828-782-0546      |
|                                                          | Jerry Yates 828-778-8938     |
|                                                          | Rick Gath 828-777-4053       |
| Storm Water                                              | 828-259-5973                 |
|                                                          | Tony Chapman 828-777-5665    |
|                                                          | Amy Deyton 828-782-0755      |
| Water Department                                         | 828-259-5975                 |
|                                                          | Travis Mortier 828-778-0191  |
|                                                          | Jeremy Godfrey 828-778-0953  |
|                                                          | Michele Smith 828-777-3539   |

Section V: Special Conditions

|                                     |                |                  |
|-------------------------------------|----------------|------------------|
| Asheville Transit Bus Lines         |                | 828-253-5691     |
| AT&T Telephone Co.                  |                | 877-737-2478     |
|                                     | Chip Lance     | 828-258-7058     |
|                                     | Jenny Stamey   | 828-251-8949     |
| Black Mountain                      |                | 828-669-8610     |
| Public Works Director               | Jamie Matthews | 828-778-5525     |
| Water Department                    |                | 828-419-9300 x 1 |
| Buncombe County Board of Education  |                |                  |
| Transportation Department           |                | 828-232-4240     |
| Buncombe Co. Emergency Services     |                | 828-250-6650     |
| Fire, Police - NON EMERGENCIES ONLY |                |                  |
| County Road Closures                |                |                  |
| Buncombe County Planning Director   |                | 828-250-4830     |
| Charter Spectrum                    | Don Pullen     | 828-367-8763     |
|                                     | Karen Allison  | 864-598-0816     |
| Dominion Gas                        |                | 877-776-2427     |
|                                     | Richard Walsh  | 828-273-8446     |
| Duke Energy                         | Guard House    | 828-687-5206     |
|                                     | Power Outages  | 800-827-5118     |
|                                     | Seth McFee     | 828-271-6271     |
| ERC Fiber                           | Lewis Lance    | 828-350-2415     |
|                                     |                | 866-372-7110     |
| M.S.D. of Buncombe County           |                |                  |
| Construction Director               |                | 828-225-8262     |
| Sewer Maintenance Division          |                | 828-255-0061     |
| Norfolk Southern RR                 |                |                  |
|                                     | James Peck     | 828-808-0366     |
| NCDOT Highway Division              | Nick Dorato    | 828-298-2741     |

Section V: Special Conditions

Weaverville Town Hall  
Public Works

828-645-7116  
828-645-0606 x 400

Woodfin  
Street Department  
Water District

828-253-4887  
828-253-5551 x 8

**ARTICLE 4- USE OF EASEMENTS AND RIGHT OF WAY**

**4.1 Right of Way Special Provision Detail Sheets and Easements**

Easement widths are shown on the Plans and Easement Plats. The Plats (not to scale) are included at the end of the Specifications. If requested, scaled copies of the same will be provided to the CONTRACTOR. Exceptions to the typical details are shown as applicable on the Plans.

The CONTRACTOR shall comply with all provisions of the SPDS and easement agreement that may be applicable to his construction process or the general construction of this project.

Sewer taps for future use are included in bid items MP-5.02.4(p) 4" PVC (Sch 40), MP-5.05.4 DI Wye, and MP-5.06.4 4" cleanout assembly. Unless otherwise specified, all other items in these SPDS shall be considered incidental to the mainline sewer construction. Any compensation to the CONTRACTOR for these items shall be included in the per linear foot bid unit price for the mainline sewer pipe, unless otherwise specified herein or listed in the Bid Schedule.

The SPDS and easement maps are attached for the following properties:

| Address               | Owner Name                                   | SPDS |
|-----------------------|----------------------------------------------|------|
| 35 Ruslan Dr          | Auryaa LLC c/p Darrell McClover II           | Yes  |
| 14 Annie St           | James & Heidi Ewing                          | Yes  |
| 8 Annie St            | Genevieve Gaea                               | Yes  |
| 9999 Richland St      | Jerry & Tamara Lyda<br>John & Kathryn Farlow | Yes  |
| 176 Richland St       | Kelly Mayer                                  | Yes  |
| 9999 Richland St      | Thomas & Kelly Poole                         | Yes  |
| 160 Richland St       | Thomas & Kelly Poole                         | Yes  |
| 172 Richland St       | Morgan Purdy                                 | Yes  |
| 121 & 119 Richland St | Dillon & Megan Ramsey                        | Yes  |
| 27 Ruslan Dr          | Paula G. Rivas                               | Yes  |
| 13 & 15 Worley Pl     | William Dean Wolfe, Trustee                  | Yes  |
| 31 Ruslan Dr          | 31 Ruslan Dr, LLC                            | No   |

Section V: Special Conditions

|                   |                               |    |
|-------------------|-------------------------------|----|
| 25 Worley Pl      | Bruner                        | No |
| 7 Worley Pl       | William Chase & David Flander | No |
| 5 Worley Pl       | William Chase & David Flander | No |
| 200 Richland St   | River Echeverria              | No |
| 39 Ruslan Dr      | Nathaniel Hathaway            | No |
| 118 Hazel Mill Rd | Laurence Hutt Revocable Trust | No |
| 43 Ruslan Dr      | Julio Lostao                  | No |
| 210 Richland St   | Sherilynn Mahowald            | No |
| 180 Richland St   | Dennis Mitchell               | No |
| 178 Richland St   | Dennis Mitchell               | No |
| 13 Ruslan Dr      | Thomas Ransdell               | No |
| 23 Worley Pl      | Buddy & Gloria Roberts        | No |
| 21 Worley Pl      | Brent & Jacqueline Roberts    | No |
| 11 Ruslan Dr      | James Smith                   | No |

**ARTICLE 5 - SPECIAL REQUIREMENTS**

**5.1 Street Cut Permits and Project Access**

NCDOT Roads

Work within NCDOT maintained roadways shall be performed under the NCDOT encroachment permit, which is obtained by the ENGINEER.

City of Asheville Roads

Work performed within City of Asheville streets will require a street-cut permit. It shall be the CONTRACTOR's responsibility to obtain such permits prior to beginning work within said public right of way.

Other Municipalities

Work performed in other municipally-owned public roadways may require a street-cut permit. It shall be the CONTRACTOR's responsibility to obtain such permits prior to beginning work within said public right of way.

All costs associated with NCDOT Encroachments, street-cut permits, and their conditions/requirements shall be included within the various bid items, and no extra or separate payment will be made by the DISTRICT to the CONTRACTOR.

This also includes parking-meter closure fees, where there is an additional charge

for existing parking meters on a closed public street.

Where the project work area is not within a Public Street or roadway, the CONTRACTOR shall use existing drives and parking lots as may be reasonable and necessary; however, he shall keep such usage to the minimum required and in accordance to the terms and conditions of the DISTRICT's Right of Way Policy and the recorded Easement Agreement between the DISTRICT and the Property Owner(s).

The CONTRACTOR shall maintain reasonable access to all properties and drives during construction. Any trench excavations within drive or parking lot that is used for direct access to such property shall be backfilled and provided with an all-weather surface at the end of each day's work. Where the Property Owner SPDS specifies conditions different from the above, the SPDS shall take precedent.

## **5.2 Maintenance of Traffic**

Access to homes and businesses shall be maintained at all times to the properties along and abutting streets disturbed by construction, unless otherwise approved by the ENGINEER. On streets disturbed by construction, a minimum of one lane (with flagmen) shall be maintained at all times and further provided that adequate signing and control is provided as required by the AASHTO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS and NCDOT Guidelines.

All lane closures and traffic measures shall be coordinated with and meet the minimum requirements of each municipality. Flagmen shall be provided on each end of the closed section or at intermediate points where the closed section is in excess of 250' or where the line of sight is impaired.

## **5.3 Sewer Service Line Connections**

Sewer service connections to the existing lines shall be re-connected to the new lines in accordance to the NC Plumbing Codes. Payment for sewer service cleanouts shall be paid on a per unit installed basis at the bid unit price. Where more than 5 feet of 4" or 6" PVC or DIP service line is required to reconnect the existing service to the new sewer mains and/or manholes, the CONTRACTOR shall be compensated for the appropriate linear footage of 4" or 6" pipe installed at the bid unit price for the appropriate size pipe. The first 5 feet of sewer service lateral beyond the point of reconnection, shall be considered as incidental to the project work scope and shall not be included in above calculations of 4" or 6" PVC or DIP service line installed.

## **5.4 Non-Discharge Permit**

Copy is attached.



## SPECIAL PROVISIONS DETAIL SHEET

September 22, 2025

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**Project:** Hazel Mill Rd @ Richland Street GSR – Project #2014016  
MSD of Buncombe County

**Agent:** Darrell R. Hess

**Parcel Number:** 9638-67-1653

**Owner:** Auryaa LLC c/p Darrell McClover II

**Phone:** (954) 993-3217

**Address:** 35 Ruslan Drive, Asheville NC 28806

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at the number listed above at least two weeks prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
2. MSD Contractor shall restore any fencing (painted wooden privacy panel fence) that is removed or damaged due to sewer line construction with the same type, style, and quality materials as the existing fence (painted wooden privacy panel fence). Owner understands contractor may reinstall the existing fence material as long as it has not been damaged. Fencing shall be reinstalled in the same proximity as existed prior to construction.
3. The MSD Contractor shall take all reasonable precautions to avoid damaging the Sprinkler System that runs through part of the temporary and permanent easement area. Should any of the system be damaged or broken, Contractor agrees to have it repaired or replaced to work as intended in a good workman like condition as before.
4. In the event the retaining wall (wooden landscape timber wall) that borders the permanent and temporary easement area on the approved plans is damaged during the sewer replacement installation, MSD's contractor agrees to restore or repair the wall in a good workmanlike manner to the same condition or better as it was before.

## SPECIAL PROVISIONS DETAIL SHEET

August 18, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-4789

**Owner:** James & Heidi Ewing

**Phone:** (706) 421-3530

**Site Address:** 14 Annie Street, Asheville, NC 28806

**Mailing Address:** 21 Rosebay Ln, Asheville, NC 28803

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
2. Contractor shall ensure that the tenants have parking access during construction by use either the front concrete driveway, or by use of the lower asphalt driveway.
3. Contractor shall restore all disturbed areas on this property after sewer line construction is complete per MSD standards. Restoration shall include hand raking of all disturbed areas before seeding occurs.

## SPECIAL PROVISIONS DETAIL SHEET

September 23, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-5931

**Owner:** Genevieve Gaea

**Phone:** (828) 490-6501

**Address:** 8 Annie Street, Asheville, NC 28806

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
2. There Contractor shall restore any fencing that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence (wooden picket). Owner understands contractor may re-install the existing fence material as long as it has not been damaged. Fencing shall be re-installed in the same location as existed prior to construction.
3. The contractor shall perform surface restoration on this property immediately following sewer line installation. Surface restoration shall include hand raking, restoration of the existing topography and seeding all disturbed area in a good workmanlike manner.
4. There is a large diameter oak tree located within the Temporary Construction Easement. The Contractor shall remove this tree and haul off of logs, brush, and the stump.

## SPECIAL PROVISIONS DETAIL SHEET

October 9, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-3775

**Owner:** Jerry A. Lyda & Tamara Anita Lyda  
John T. Farlow, Jr. & Kathryn F. Farlow

**Phone:** (828) 231-2741 (Jerry Lyda)

**Site Address:** Richland Street, Asheville, NC 28806

**Mailing Address:** 48 Timberwood Drive, Asheville, NC 28806

**Owner Email:** musiccitystore@aol.com

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
2. Contractor shall provide one (1), four-inch (4") tap during construction for the owner's future use. Owner understands they must complete a sewer service application with MSD prior to connection to said tap. Owner also understands that this form must be presented to waive the tap fee. **All other prevailing MSD fees at the time of connection shall apply.**

## SPECIAL PROVISIONS DETAIL SHEET

August 20, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-3536

**Owner:** Kelly Mayer

**Phone:** (330) 614-8802

**Site Address:** 176 Richland Street, Asheville, NC 28806

**Mailing Address:** 22 Tudor Way, Black Mountain, NC 28711

**Engineer Approval:**



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- 
1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
  2. There are three four-inch drain lines that daylight in the temporary construction easement. The contractor shall ensure that these lines are protected from damage during construction. In the event of any damage on the part of the contractor, the line(s) shall be repaired in a good workman like manner at the sole expense of the contractor.

## SPECIAL PROVISIONS DETAIL SHEET

September 11, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-4416

**Owner:** Thomas M. & Kathy E. Poole

**Phone:** (919) 518-7792

**Site Address:** Richland Street, Asheville, NC 28806

**Mailing Address:** 1116 Heritage Knoll Drive, Wake Forest, NC 27587

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
2. The contractor shall use best efforts to avoid disturbance to trees/vegetation within the Temporary Construction Easement on this property.
3. Contractor shall provide one (1), four-inch (4") tap during construction for the owner's future use in the vicinity of Manhole C8Line C). Owner understands they must complete a sewer service application with MSD prior to connection to said tap. Owner also understands that this form must be presented to waive the tap fee. **All other prevailing MSD fees at the time of connection shall apply.**

## SPECIAL PROVISIONS DETAIL SHEET

September 11, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-4472

**Owner:** Thomas M., Kathy E. & Heather S. Poole

**Phone:** (919) 518-7792

**Site Address:** 160 Richland Street, Asheville, NC 28806

**Mailing Address:** 1116 Heritage Knoll Drive, Wake Forest, NC 27587

**Engineer Approval:** 

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1. The MSD Inspector shall contact the property owner at least two weeks in advance of work occurring on this property (excepting emergencies).
2. Contractor shall restore any fencing (chain link) that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence. Owner understands contractor may re-install the existing fence material as long as it has not been damaged. Fencing shall be re-installed in the same location as existed prior to construction.
3. Contractor shall install temporary fencing immediately following the removal of the chain link fence sufficient to contain the owner's pets. The MSD Inspector shall provide at least 48 hours' notice to the owner before removal said fence.

## SPECIAL PROVISIONS DETAIL SHEET

September 24, 2025

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|                           |                                                                                                   |
|---------------------------|---------------------------------------------------------------------------------------------------|
| <b>Project:</b>           | Hazel Mill Road @ Richland Street Sewer Rehabilitation<br>MSD of Buncombe County Project #2014016 |
| <b>Agent:</b>             | Wesley G. Banner                                                                                  |
| <b>Parcel Number:</b>     | 9638-67-3447                                                                                      |
| <b>Owner:</b>             | Morgan A. Purdy                                                                                   |
| <b>Phone:</b>             | (828) 214-0350                                                                                    |
| <b>Site Address:</b>      | 172 Richland Street, Asheville, NC 28806                                                          |
| <b>Mailing Address:</b>   | 3 Olivewood Drive, Asheville, NC 28805                                                            |
| <b>Engineer Approval:</b> |                  |

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1. There is a wooden outbuilding located within the permanent sewer easement adjacent to manhole C-5 (Line C). The contractor shall relocate this outbuilding outside of the permanent sewer easement. The wooden platform of the outbuilding may require modification on the part of the contractor during relocation. If any damage occurs to the outbuilding during the relocation process the contractor shall repair using similar materials at their sole expense. MSD Inspector shall contact the property owner at least two weeks in advance of the outbuilding being relocated so the property owner can empty the contents of the shed. Further, the MSD Inspector shall take good quality photos/videos of the shed to document its condition prior to relocating by the contractor.

## SPECIAL PROVISIONS DETAIL SHEET

September 3, 2025

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|                           |                                                                                                   |
|---------------------------|---------------------------------------------------------------------------------------------------|
| <b>Project:</b>           | Hazel Mill Road @ Richland Street Sewer Rehabilitation<br>MSD of Buncombe County Project #2014016 |
| <b>Agent:</b>             | Wesley G. Banner                                                                                  |
| <b>Parcel Number:</b>     | 9638-67-4665 & 9638-67-5549                                                                       |
| <b>Owner:</b>             | Dillon & Megan Ramsey                                                                             |
| <b>Phone:</b>             | (828) 774-7414                                                                                    |
| <b>Site Address:</b>      | 121 & 119 Richland Street, Asheville, NC 28806                                                    |
| <b>Mailing Address:</b>   | P.O. Box 211 Marshall, NC 28753                                                                   |
| <b>Engineer Approval:</b> |                  |

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1. The MSD Inspector shall contact the property owner at the phone number listed above at least two weeks prior to work occurring on this property (excepting emergencies).
2. The contractor shall abandon existing MSD MH#68-54012 as shown on the approved plans per MSD Standards.
3. Contractor shall perform a full width asphalt overlay of the private driveway in the proposed easement areas extending to the outer edge of the temporary construction easement to the west of terminating MH D4 (Line D). The MSD Inspector shall take good quality photos and video to document the existing condition of the asphalt before construction begins.

## SPECIAL PROVISIONS DETAIL SHEET

September 16, 2025

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|                           |                                                                                   |
|---------------------------|-----------------------------------------------------------------------------------|
| <b>Project:</b>           | Hazel Mill Rd @ Richland Street GSR – Project #2014016<br>MSD of Buncombe County  |
| <b>Agent:</b>             | Darrell R. Hess                                                                   |
| <b>Parcel Number:</b>     | 9638-67-1583                                                                      |
| <b>Owner:</b>             | Paula G. Rivas                                                                    |
| <b>Phone:</b>             | (864) 386-0183                                                                    |
| <b>Address:</b>           | 27 Ruslan Drive, Asheville NC 28806                                               |
| <b>Engineer Approval:</b> |  |

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1. The MSD Inspector shall contact the property owner at the number listed above at least two weeks prior to any work being performed on the property (excepting emergencies) to give owner notice of when work will begin.
2. MSD Contractor shall restore any fencing (wooden privacy panel fence) that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence (wooden privacy panel fence). Owner understands contractor may reinstall the existing fence material as long as it has not been damaged. Fencing shall be reinstalled in the same proximity as existed prior to construction.
3. The MSD Contractor shall take all reasonable precautions to avoid damaging the American Pillar Arborvitae (evergreens) located within the temporary easement during construction activities. In the event that the root system of the tree(s) is found to be significantly compromised due to the nearby trenching in the permanent easements, the MSD Contractor shall promptly notify the property owner. The property owner will then have the option to decide whether to remove the tree(s) or leave it in place. The owner acknowledges that if the tree(s) subsequently dies as a result of construction activities, MSD shall not be held liable for the tree's condition and is not obligated to remove the tree or any associated cuttings. Should the property owner authorize the removal of the tree, the MSD Contractor will be responsible for the complete removal of all brush, cuttings, logs, and any debris resulting from the tree removal from the property.

## SPECIAL PROVISIONS DETAIL SHEET

August 12, 2025

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**Project:** Hazel Mill Road @ Richland Street Sewer Rehabilitation  
MSD of Buncombe County Project #2014016

**Agent:** Wesley G. Banner

**Parcel Number:** 9638-67-5201 & 9638-67-4223

**Owner:** William Dean Wolfe, Trustee

**Phone:** (828) 777-9205

**Address:** 13 Worley Place, Asheville, NC 28806

**Engineer Approval:** 

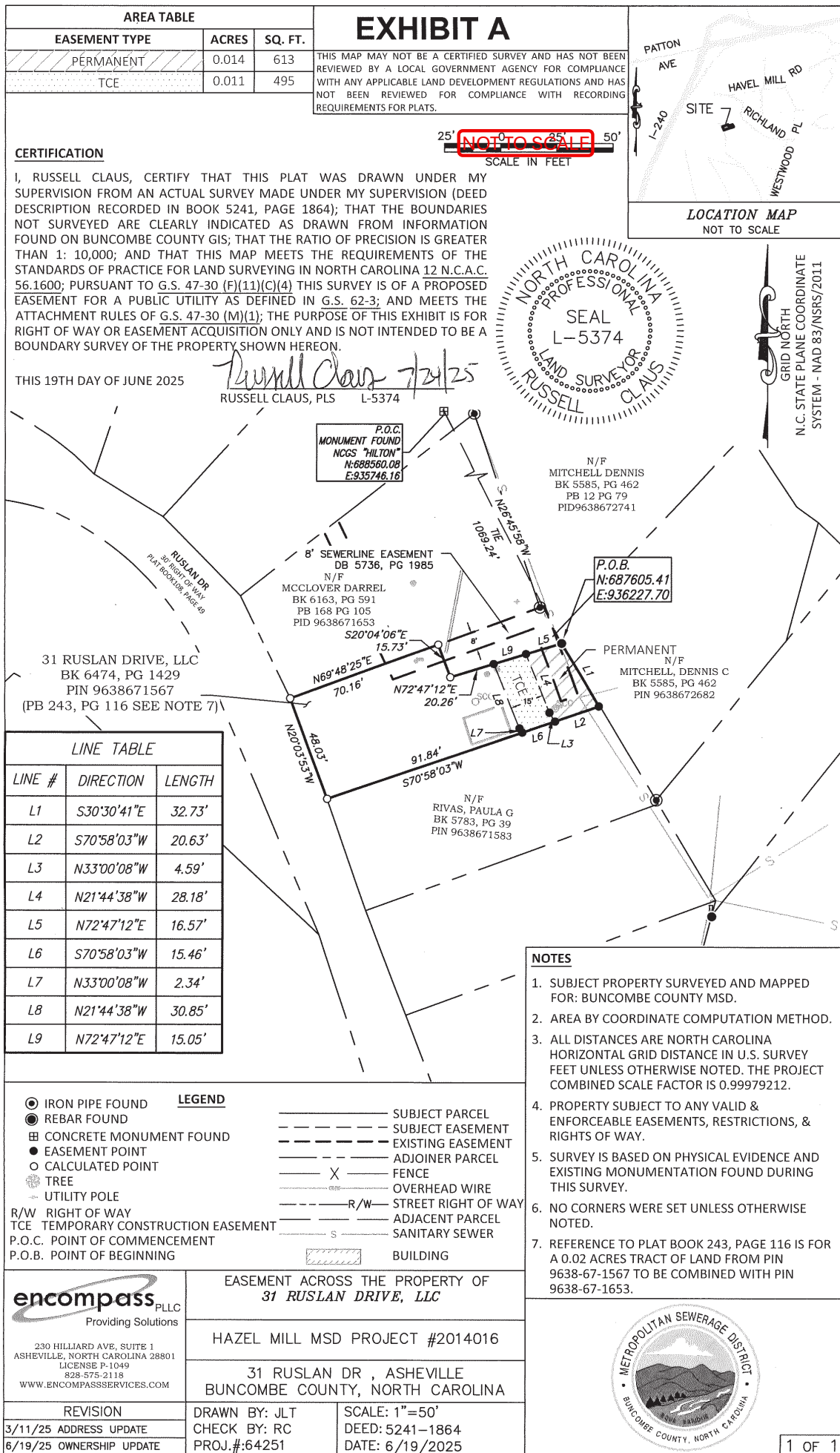
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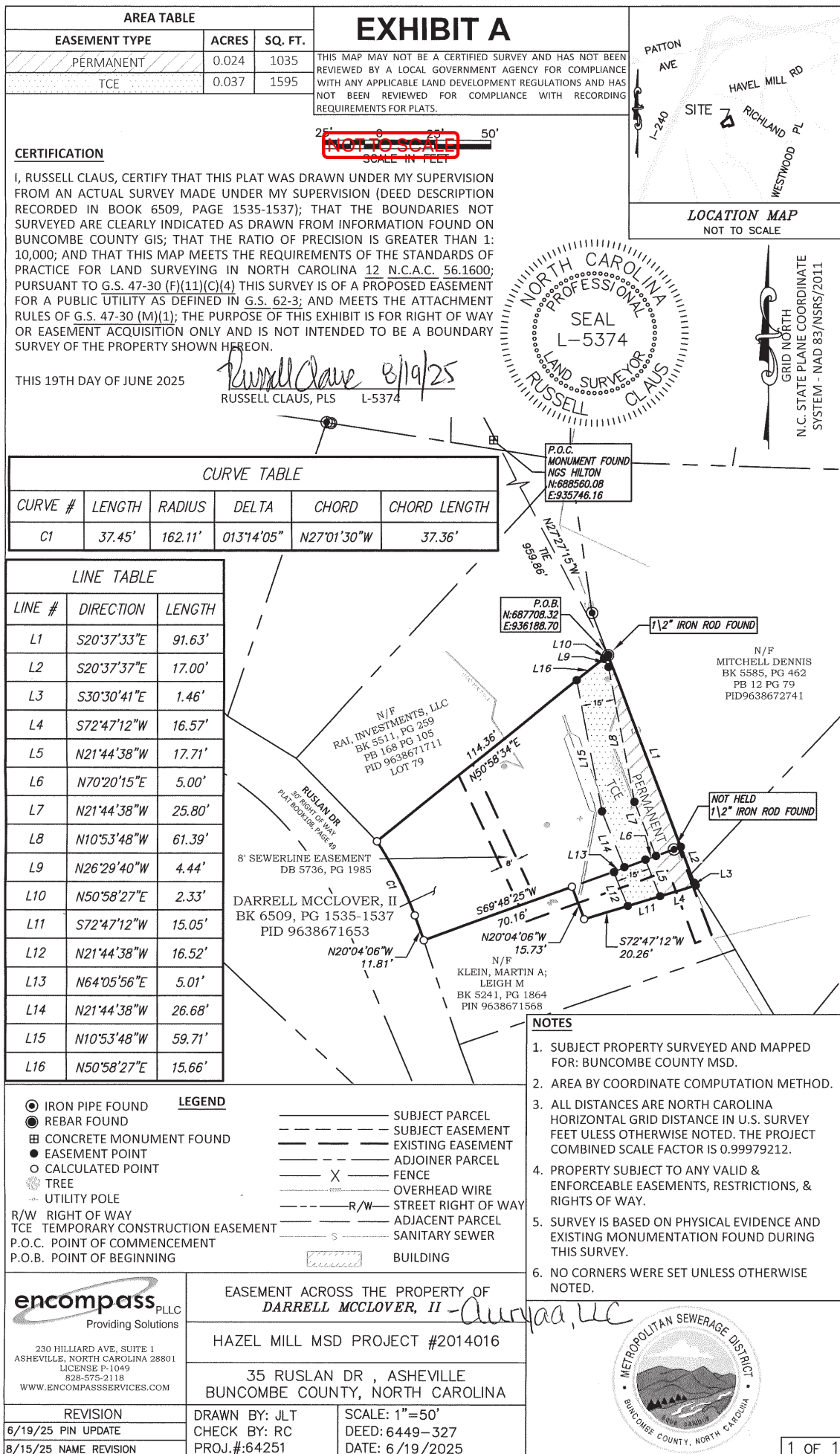
1. The property owner has requested to keep the logs associated with the removal of three large oak & poplar trees located in the vicinity of MH C10. Contractor shall cut these logs into 8' minimum sections and stack the wood at the edge of the permanent sewer easement in the temporary construction easement. Contractor shall haul off all stumps and brush associated with the clearing operation. The MSD Inspector shall make contact with the property owner at the phone number listed above to determine the location where the logs are to be stacked prior to clearing. The property owner agrees by virtue of this provision that MSD or MSD's contractor will not be responsible to haul off, cut up, or relocate the logs after they are left on their property. Further, the property owner agrees by virtue of this provision that they cannot request at a later date that the logs be relocated, cut into smaller sections, or hauled away by MSD or MSD's contractor.

PROPERTY OWNER ACKNOWLEDGEMENT:

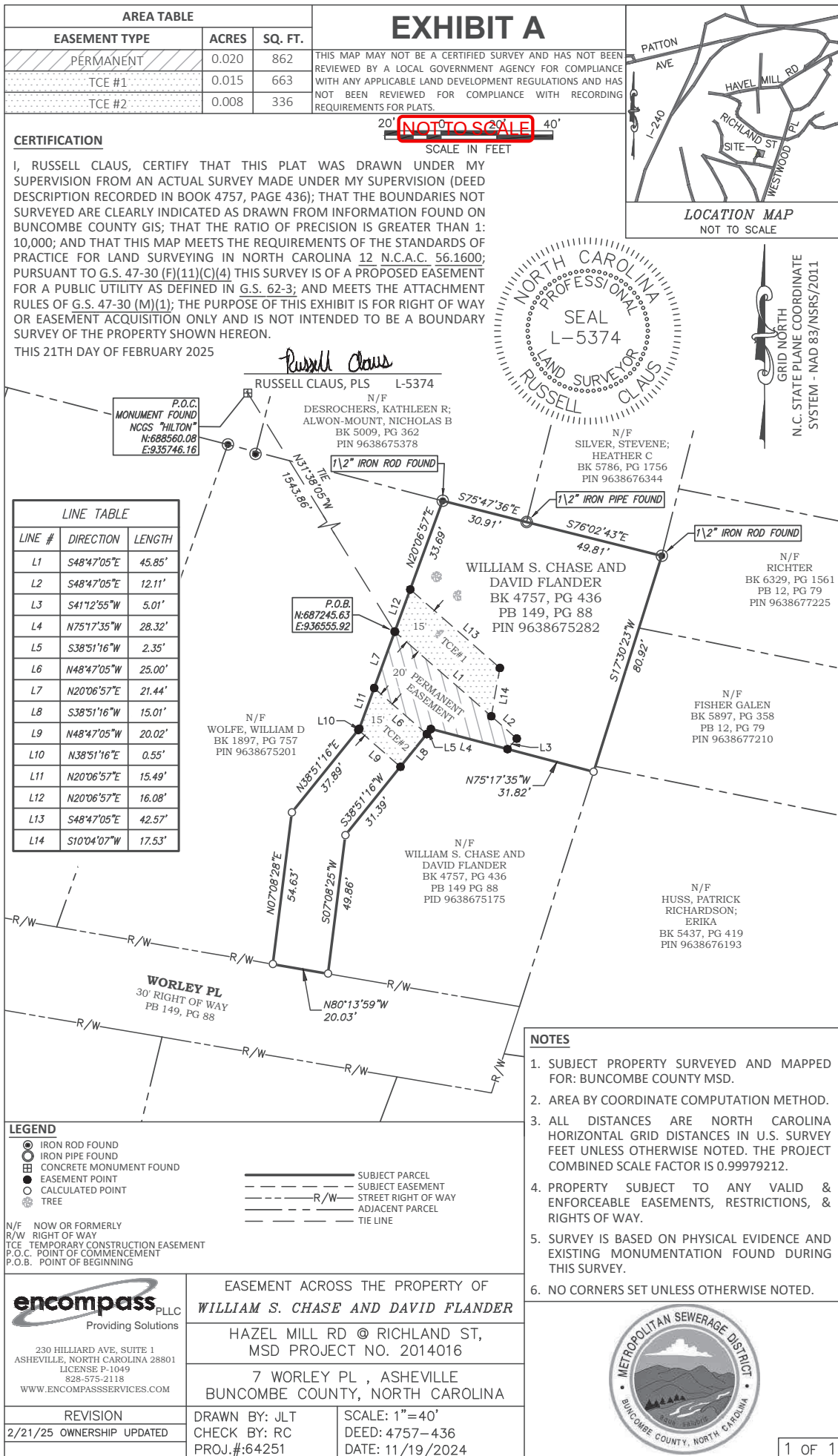
 DATE: 8-25-25

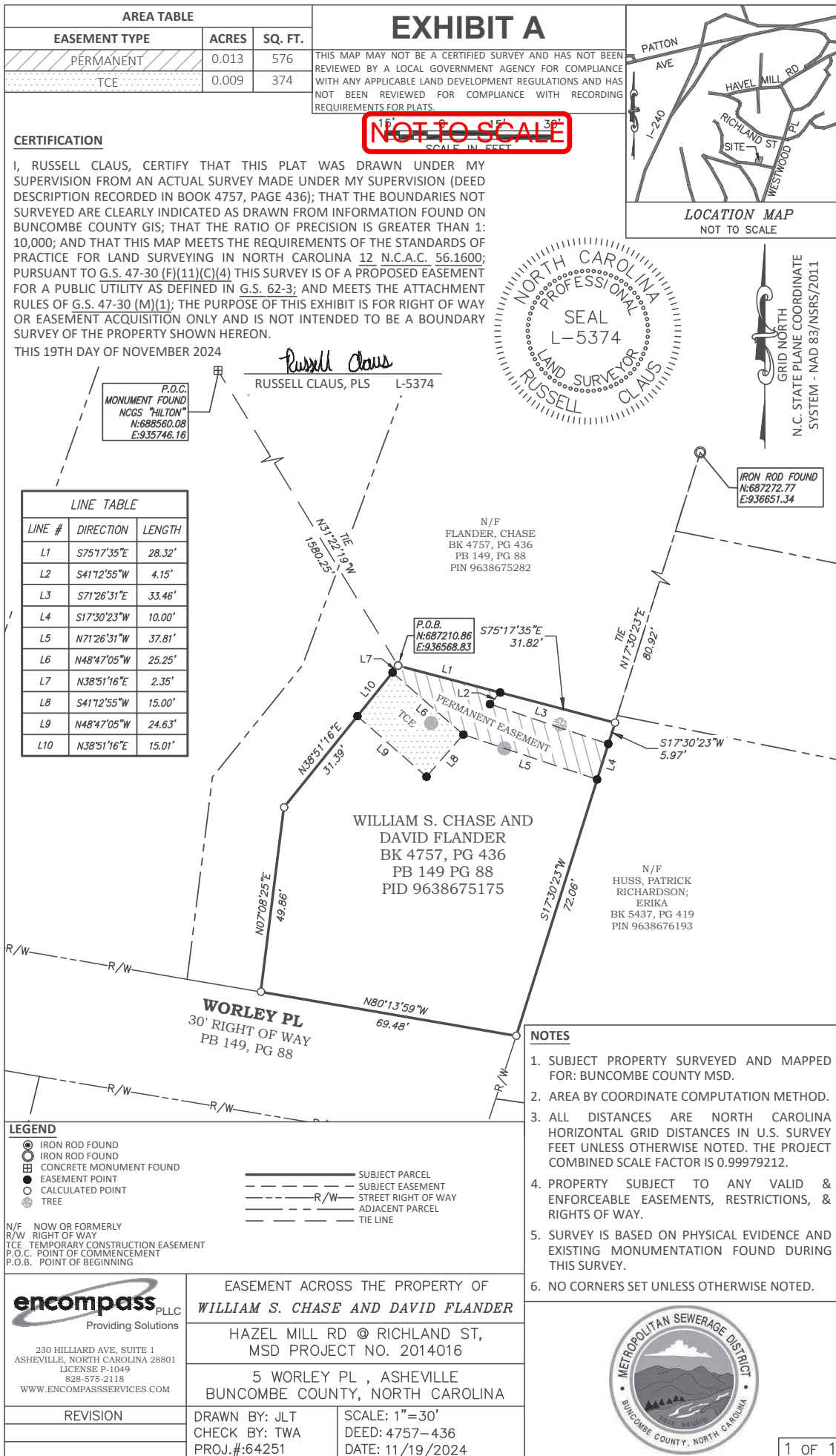
2. Contractor shall restore any fencing (chain link) that is removed or damaged due to sewer line construction with the same type and quality materials as the existing fence. Owner understands contractor may re-install the existing fence (chain link) material as long as it has not been damaged. Fencing shall be re-installed in the same location as existed prior to construction.
3. There is a stacked railroad tie retaining wall that runs along the bottom of the chain link fence along the eastern property line. The contractor shall remove and reset the railroad ties back in their current location where crossed due to sewer line construction.

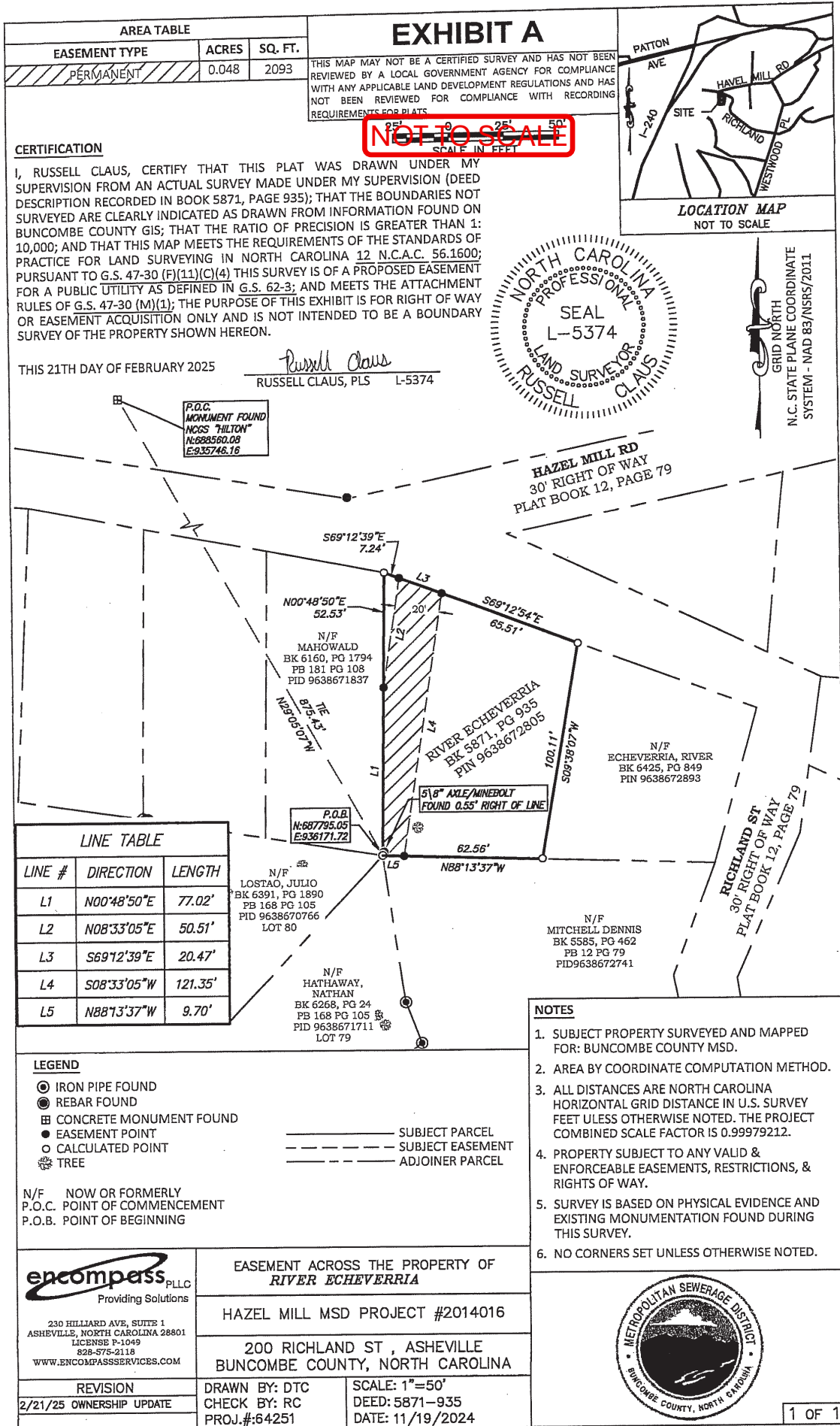


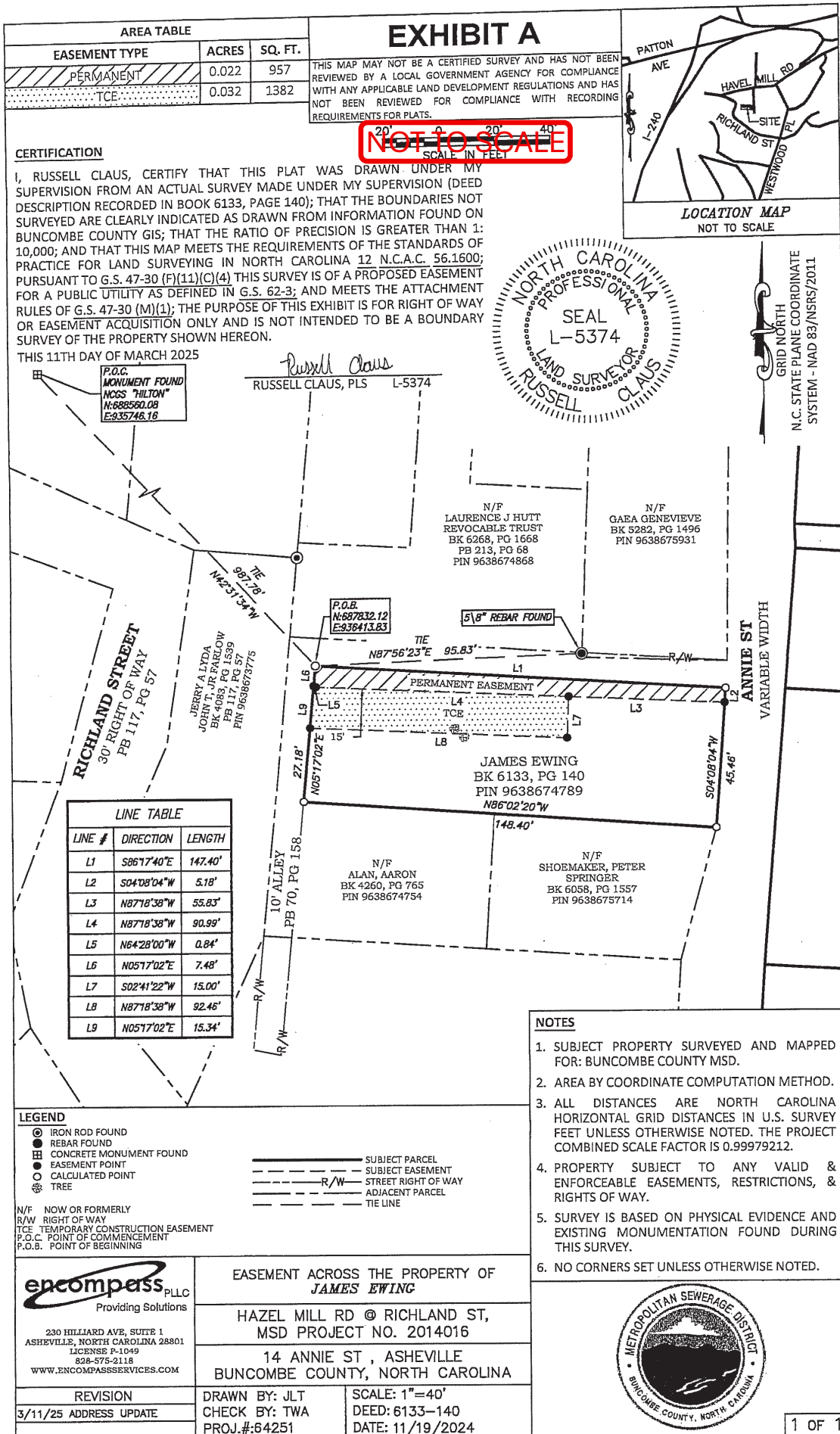












| AREA TABLE    |       |         |
|---------------|-------|---------|
| EASEMENT TYPE | ACRES | SQ. FT. |
| PERMANENT     | 0.011 | 485     |
| TCE           | 0.018 | 773     |

## EXHIBIT A

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

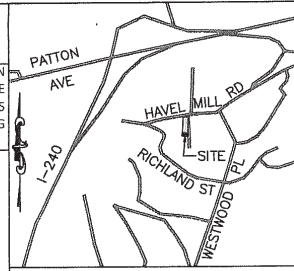
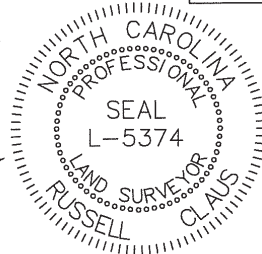
NOT TO SCALE

### CERTIFICATION

I, RUSSELL CLAUD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5282, PAGE 1496); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND ON BUNCOMBE COUNTY GIS; THAT THE RATIO OF PRECISION IS GREATER THAN 1: 10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA 12 N.C.A.C. 56.1600; PURSUANT TO G.S. 47-30 (F)(11)(C)(4) THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN G.S. 62-3; AND MEETS THE ATTACHMENT RULES OF G.S. 47-30 (M)(1); THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.

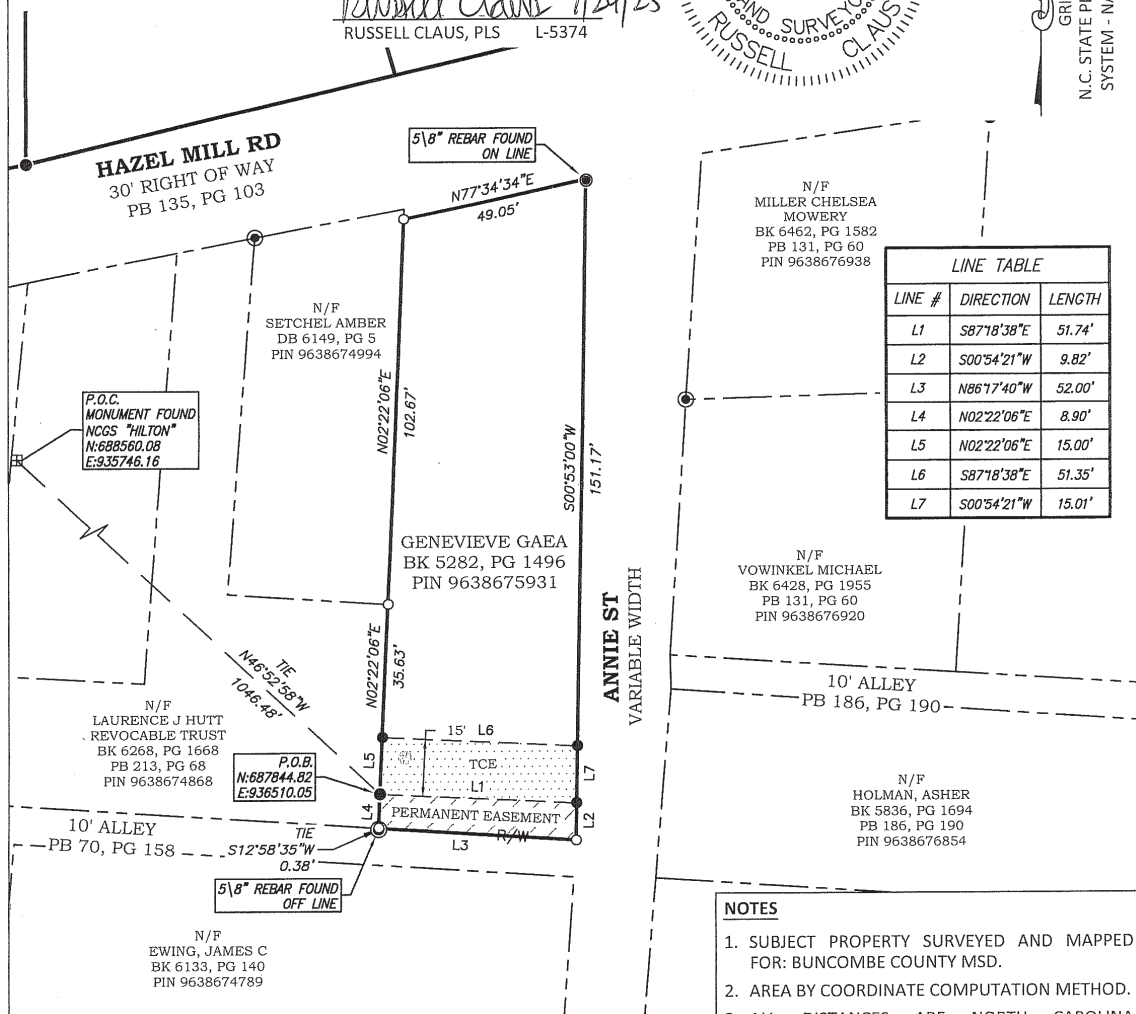
THIS 19TH DAY OF JUNE 2025

*Russell Claus* 7/24/25  
RUSSELL CLAUD, PLS L-5374



LOCATION MAP  
NOT TO SCALE

GRID NORTH  
N.C. STATE PLANE COORDINATE  
SYSTEM - NAD 83/NSRS2011



| LINE TABLE |             |        |
|------------|-------------|--------|
| LINE #     | DIRECTION   | LENGTH |
| L1         | S87°18'38"E | 51.74' |
| L2         | S00°54'21"W | 9.82'  |
| L3         | N86°17'40"W | 52.00' |
| L4         | N02°22'06"E | 8.90'  |
| L5         | N02°22'06"E | 15.00' |
| L6         | S87°18'38"E | 51.35' |
| L7         | S00°54'21"W | 15.01' |

- LEGEND**
- IRON ROD FOUND
  - REBAR FOUND
  - CONCRETE MONUMENT FOUND
  - EASEMENT POINT
  - CALCULATED POINT
  - TREE

- SUBJECT PARCEL
- - - SUBJECT EASEMENT
- - - STREET RIGHT OF WAY
- - - ADJACENT PARCEL
- - - TIE LINE

N/F NOW OR FORMERLY  
R/W RIGHT OF WAY  
TCE TEMPORARY CONSTRUCTION EASEMENT  
P.O.C. POINT OF COMMENCEMENT  
P.O.B. POINT OF BEGINNING

### NOTES

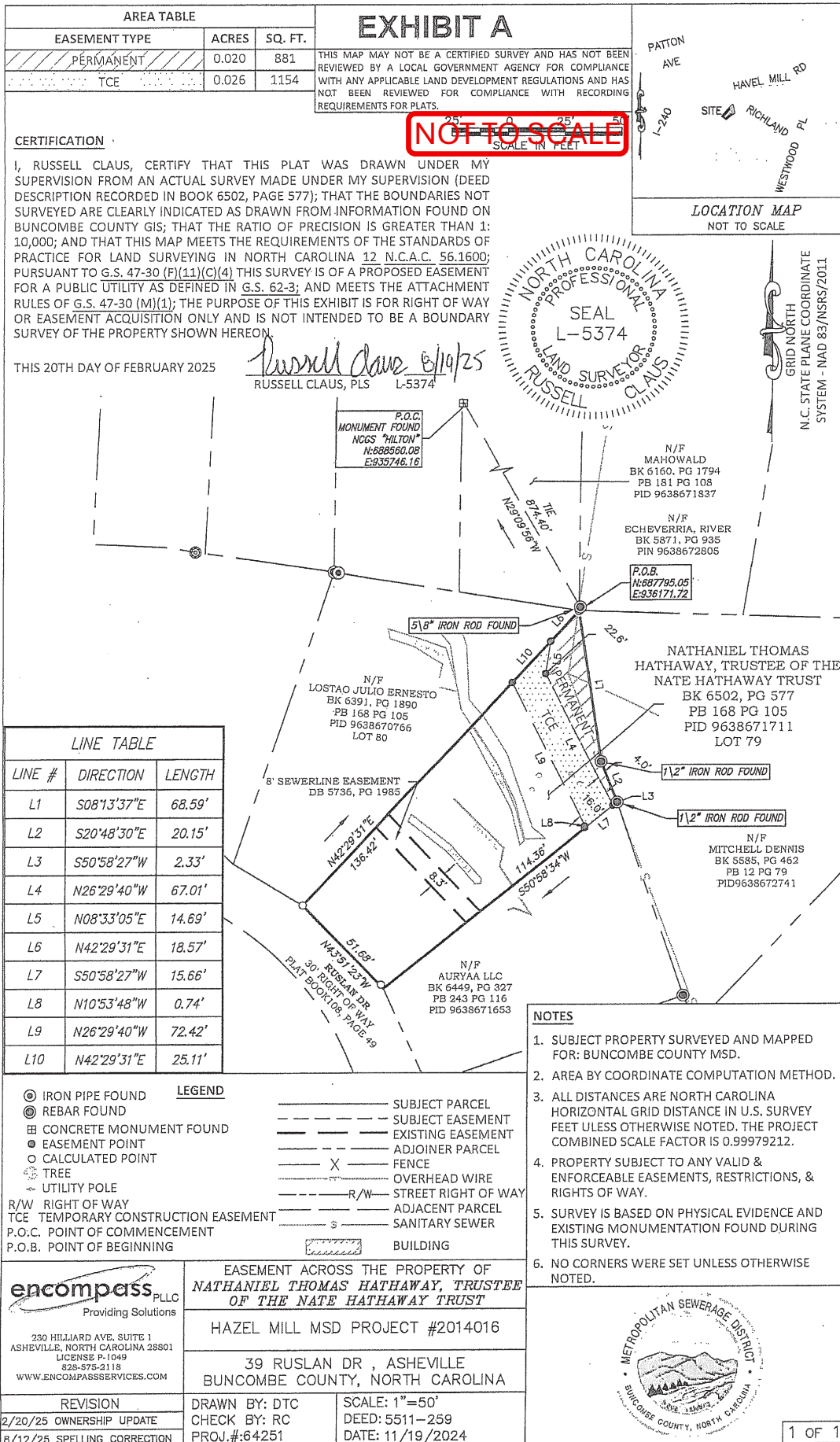
- SUBJECT PROPERTY SURVEYED AND MAPPED FOR: BUNCOMBE COUNTY MSD.
- AREA BY COORDINATE COMPUTATION METHOD.
- ALL DISTANCES ARE NORTH CAROLINA HORIZONTAL GRID DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE PROJECT COMBINED SCALE FACTOR IS 0.99979212.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY.
- SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.
- NO CORNERS SET UNLESS OTHERWISE NOTED.

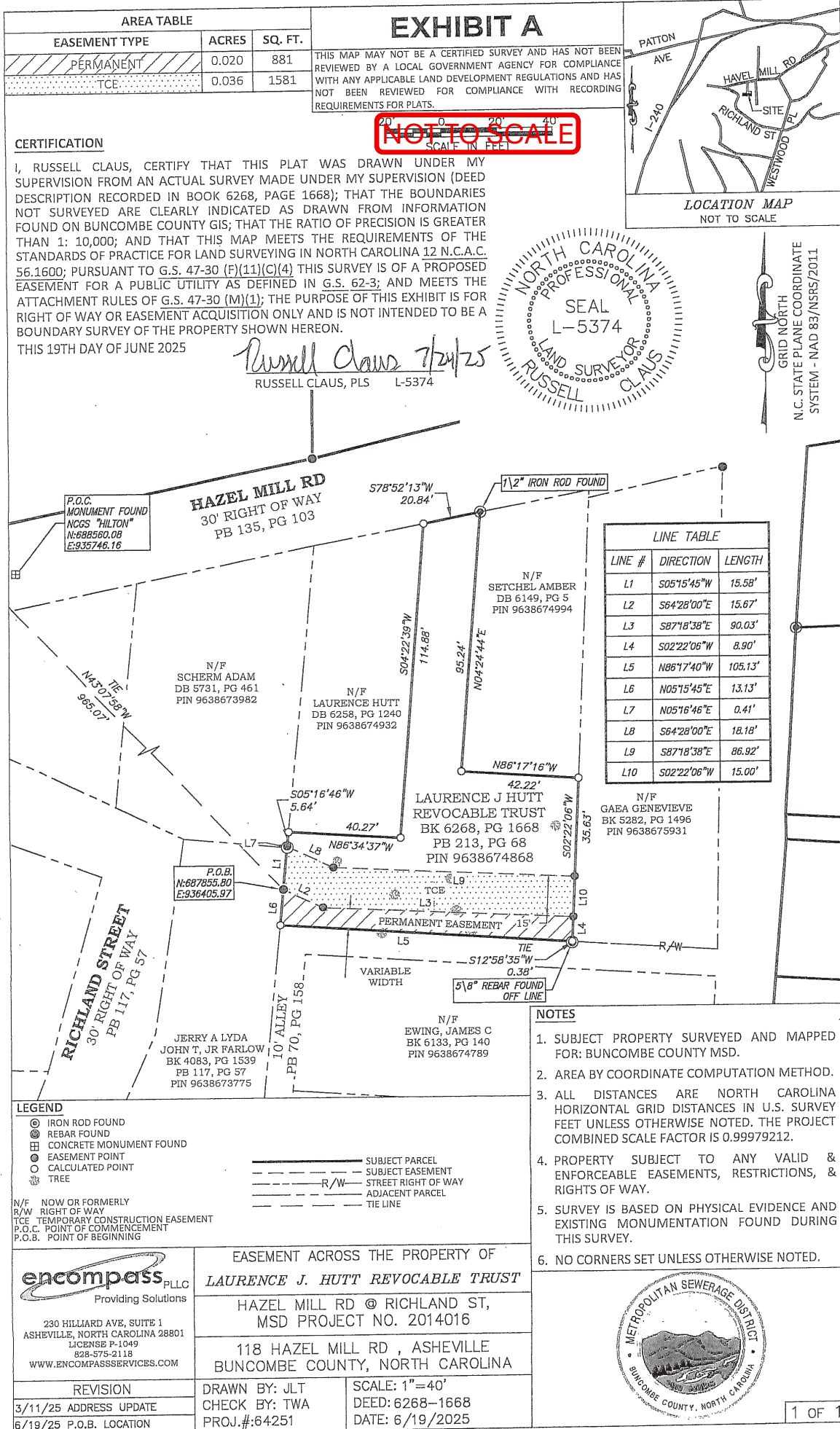
**encompass** PLLC  
Providing Solutions  
230 HILLIARD AVE, SUITE 1  
ASHEVILLE, NORTH CAROLINA 28801  
LICENSE P-1049  
828-575-2118  
WWW.ENCOMPASSSERVICES.COM

EASEMENT ACROSS THE PROPERTY OF  
**GENEVIEVE GAEA**  
HAZEL MILL RD @ RICHLAND ST,  
MSD PROJECT NO. 2014016  
8 ANNIE ST., ASHEVILLE  
BUNCOMBE COUNTY, NORTH CAROLINA

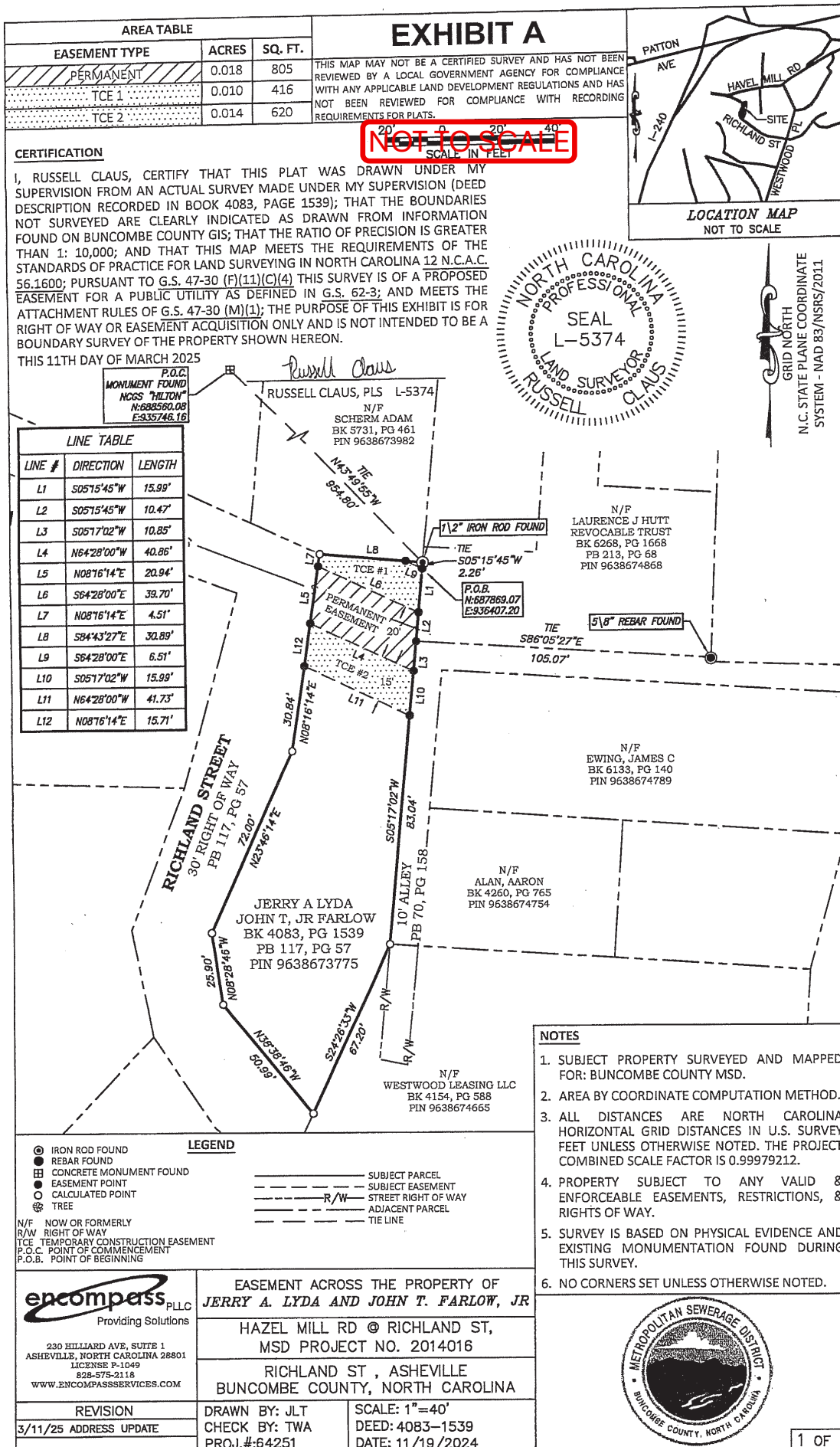
| REVISION                | DRAWN BY: JLT | SCALE: 1"=40'   |
|-------------------------|---------------|-----------------|
| 3/11/25 ADDRESS UPDATED | CHECK BY: RC  | DEED: 5282-1496 |
| 6/19/25 L2 POINT ADDED  | PROJ.#: 64251 | DATE: 6/19/2025 |

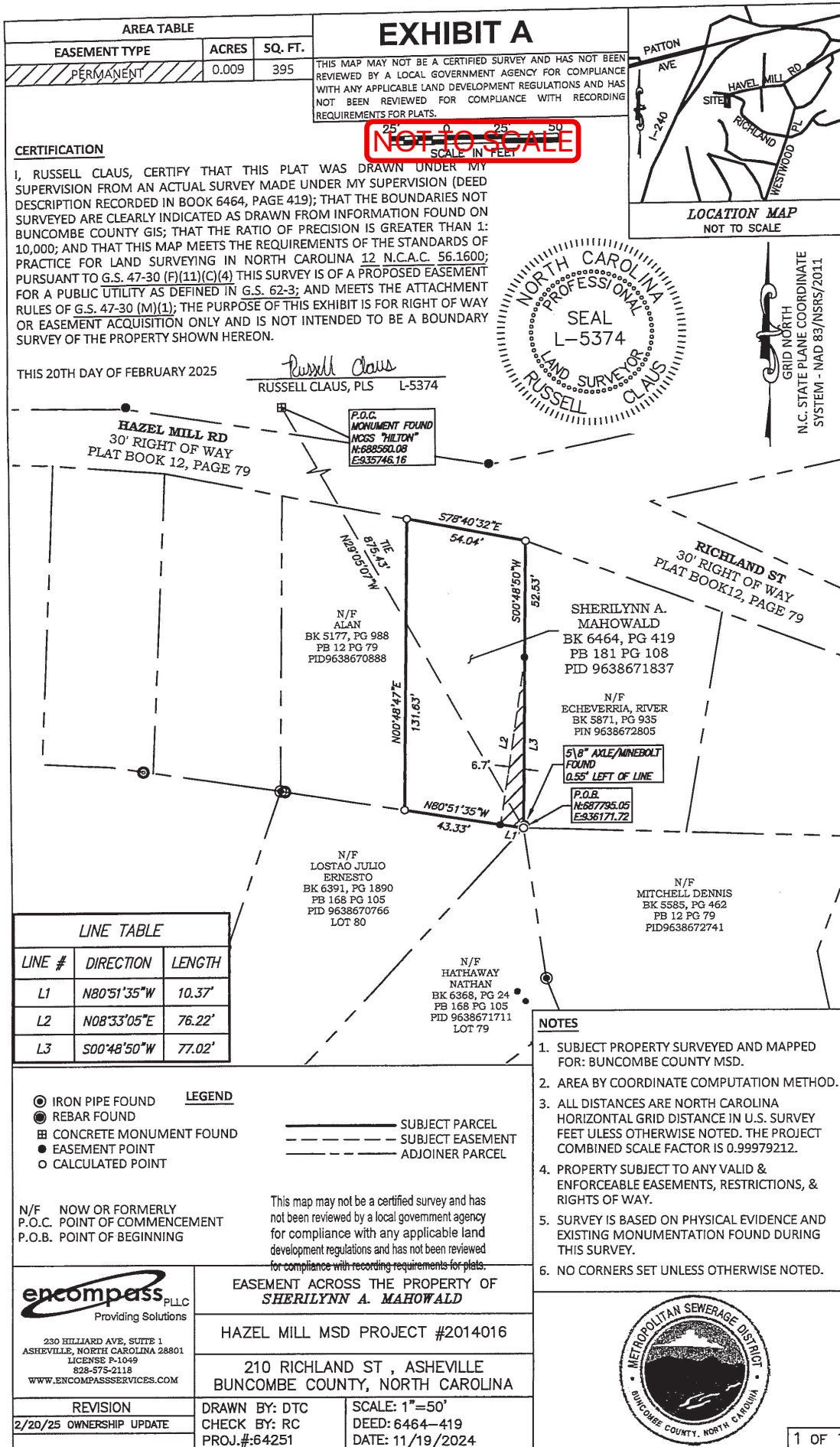












| AREA TABLE    |       |         |
|---------------|-------|---------|
| EASEMENT TYPE | ACRES | SQ. FT. |
| PERMANENT     | 0.016 | 695     |
| TCE           | 0.019 | 807     |

## EXHIBIT A

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

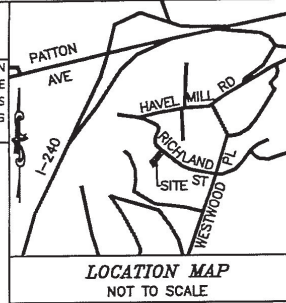
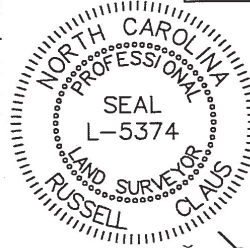
**NOT TO SCALE**

### CERTIFICATION

I, RUSSELL CLAUS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6206, PAGE 1569); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND ON BUNCOMBE COUNTY GIS; THAT THE RATIO OF PRECISION IS GREATER THAN 1: 10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA 12 N.C.A.C. 56.1600; PURSUANT TO G.S. 47-30 (F)(11)(C)(4) THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN G.S. 62-3; AND MEETS THE ATTACHMENT RULES OF G.S. 47-30 (M)(1); THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.

THIS 11TH DAY OF MARCH 2025

*Russell Claus*  
RUSSELL CLAUS, PLS L-5374



LOCATION MAP  
NOT TO SCALE

GRID NORTH  
N.C. STATE PLANE COORDINATE  
SYSTEM - NAD 83/NSRS/2011

P.O.C.  
MONUMENT FOUND  
NGCS "HILTON"  
N:688560.08  
E:935746.16

N/F  
MITCHELL, DENNIS C;  
TARA T  
BK 6055, PG 1726  
PIN 9638673643

N/F  
MITCHELL, DENNIS C  
BK 5585, PG 462  
PIN 9638672682

KELLY MAYER  
BK 6206, PG 1569  
PB 215 PG 103  
PIN 9638673536

N/F  
RIVAS, PAULA G  
BK 5783, PG 39  
PIN 9638671583

P.O.B.  
1/2" IRON ROD FOUND  
N:687534.95  
E:936269.85

N/F  
RANDELL, THOMASA;  
SMITH, RUTH A  
BK 5294, PG 362  
PIN 9638672408

N/F  
MORGAN A. PURDY,  
UNMARRIED  
BK 4897, PG 987  
PB 12, PG 79  
PIN 9638673447

| LINE TABLE |             |        |
|------------|-------------|--------|
| LINE #     | DIRECTION   | LENGTH |
| L1         | N38°50'21"E | 12.18' |
| L2         | S33°00'08"E | 53.93' |
| L3         | S37°59'13"W | 19.99' |
| L4         | N14°54'58"E | 6.91'  |
| L5         | N30°35'30"W | 52.06' |
| L6         | N38°50'21"E | 15.79' |
| L7         | S33°00'08"E | 53.68' |
| L8         | S37°59'13"W | 15.87' |

### LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- EASEMENT POINT
- CALCULATED POINT
- TREE

- SUBJECT PARCEL
- SUBJECT EASEMENT
- ADJACENT PARCEL
- TIE LINE

N/F NOW OR FORMERLY  
TCE TEMPORARY CONSTRUCTION EASEMENT  
P.O.C. POINT OF COMMENCEMENT  
P.O.B. POINT OF BEGINNING

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ASHEVILLE, NORTH CAROLINA 28801  
LICENSE P-1049  
828-575-2118  
WWW.ENCOMPASSSERVICES.COM

EASEMENT ACROSS THE PROPERTY OF  
**KELLY MAYER**

HAZEL MILL RD @ RICHLAND ST,  
MSD PROJECT NO. 2014016  
176 RICHLAND ST., ASHEVILLE  
BUNCOMBE COUNTY, NORTH CAROLINA

REVISION  
2/18/25 OWNERSHIP UPDATE  
3/11/25 ADDRESS UPDATE

DRAWN BY: JLT  
CHECK BY: RC  
PROJ.#:64251

SCALE: 1"=30'  
DEED: 6206-1569  
DATE: 11/19/2024

### NOTES

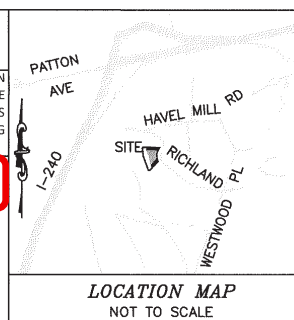
- SUBJECT PROPERTY SURVEYED AND MAPPED FOR: BUNCOMBE COUNTY MSD.
- AREA BY COORDINATE COMPUTATION METHOD.
- ALL DISTANCES ARE NORTH CAROLINA HORIZONTAL GRID DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE PROJECT COMBINED SCALE FACTOR IS 0.99979212.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY.
- SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.
- NO CORNERS SET UNLESS OTHERWISE NOTED.



| AREA TABLE    |       |         |
|---------------|-------|---------|
| EASEMENT TYPE | ACRES | SQ. FT. |
| PERMANENT     | 0.048 | 2072    |
| TCE           | 0.063 | 2724    |

## EXHIBIT A

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

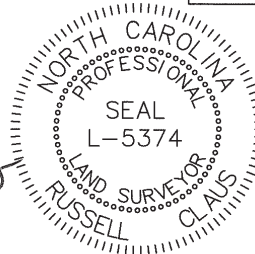


## CERTIFICATION

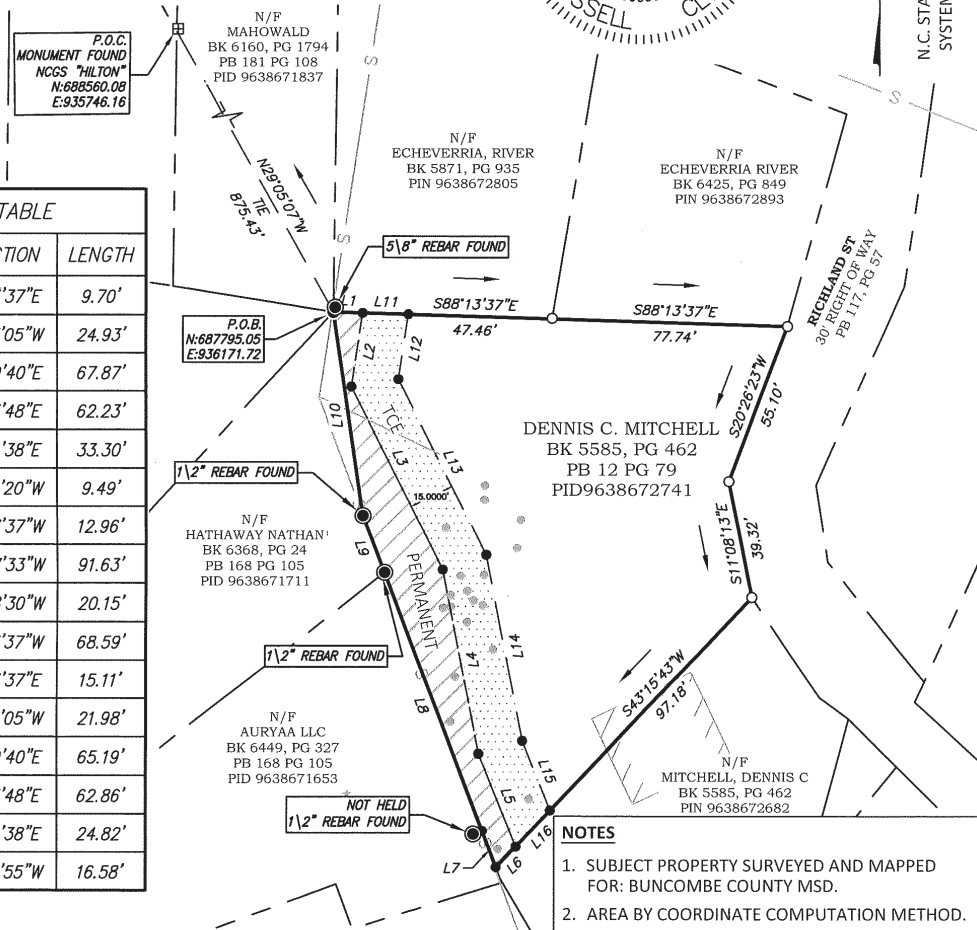
I, RUSSELL CLAUSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5585, PAGE 462); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND ON BUNCOMBE COUNTY GIS; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA 12 N.C.A.C. 56.1600; PURSUANT TO G.S. 47-30 (F)(11)(C)(4) THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN G.S. 62-3; AND MEETS THE ATTACHMENT RULES OF G.S. 47-30 (M)(1); THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.

THIS 18TH DAY OF FEBRUARY 2025

RUSSELL CLAUS, PLS L-5374



| LINE TABLE |             |        |
|------------|-------------|--------|
| LINE #     | DIRECTION   | LENGTH |
| L1         | S88°13'37"E | 9.70'  |
| L2         | S08°33'05"W | 24.93' |
| L3         | S26°29'40"E | 67.87' |
| L4         | S10°53'48"E | 62.23' |
| L5         | S21°44'38"E | 33.30' |
| L6         | S43°36'20"W | 9.49'  |
| L7         | N20°37'37"W | 12.96' |
| L8         | N20°37'33"W | 91.63' |
| L9         | N20°48'30"W | 20.15' |
| L10        | N08°13'37"W | 68.59' |
| L11        | S88°13'37"E | 15.11' |
| L12        | S08°33'05"W | 21.98' |
| L13        | S26°29'40"E | 65.19' |
| L14        | S10°53'48"E | 62.86' |
| L15        | S21°44'38"E | 24.82' |
| L16        | S43°03'55"W | 16.58' |



- ### **NOTES**
1. SUBJECT PROPERTY SURVEYED AND MAPPED FOR: BUNCOMBE COUNTY MSD.
  2. AREA BY COORDINATE COMPUTATION METHOD.
  3. ALL DISTANCES ARE NORTH CAROLINA HORIZONTAL GRID DISTANCE IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE PROJECT COMBINED SCALE FACTOR IS 0.99979212.
  4. PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY.
  5. SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.
  6. NO CORNERS WERE SET UNLESS OTHERWISE NOTED.

- LEGEND**
- IRON PIPE FOUND
  - REBAR FOUND
  - CONCRETE MONUMENT FOUND
  - EASEMENT POINT
  - CALCULATED POINT
  - TREE
  - UTILITY POLE

- R/W RIGHT OF WAY  
TCE TEMPORARY CONSTRUCTION EASEMENT  
P.O.C. POINT OF COMMENCEMENT  
P.O.B. POINT OF BEGINNING

- \_\_\_\_\_ SUBJECT PARCEL  
 - - - - - SUBJECT EASEMENT  
 - - - - - ADJOINER PARCEL  
 X \_\_\_\_\_ FENCE  
 \_\_\_\_\_ OVERHEAD WIRE  
 - - - - - R/W STREET RIGHT OF WAY  
 \_\_\_\_\_ ADJACENT PARCEL  
 S \_\_\_\_\_ SANITARY SEWER  
 [Hatched Box] BUILDING

**encompass** PLLC  
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LICENSE P-1049  
828-575-2118  
[WWW.ENCOMPASSSERVICES.COM](http://WWW.ENCOMPASSSERVICES.COM)

EASEMENT ACROSS THE PROPERTY OF  
*DENNIS C. MITCHELL*

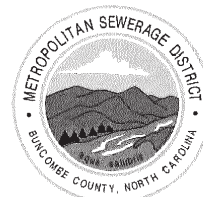
HAZEL MILL MSD PROJECT #2014016

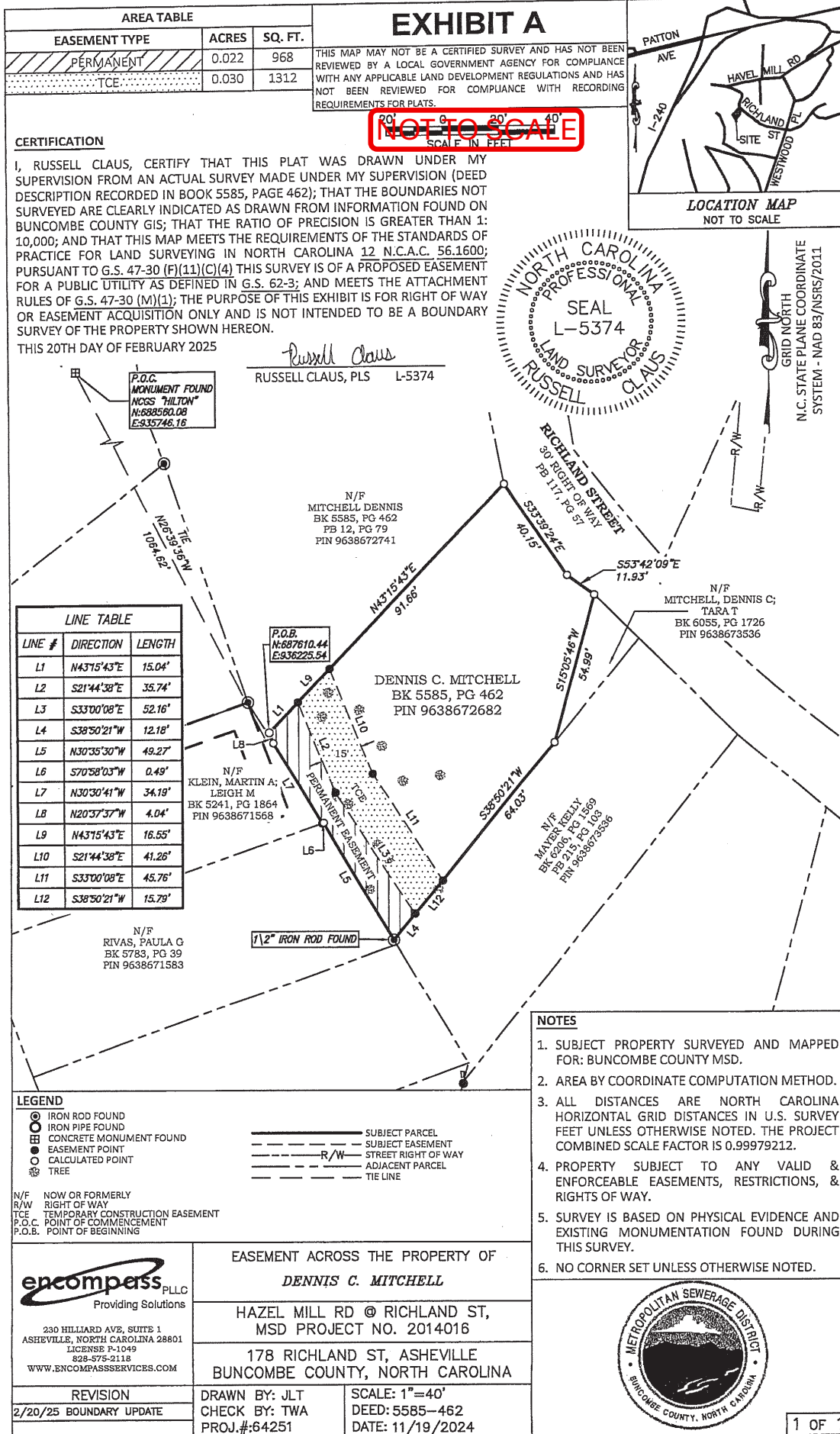
180 RICHLAND ST , ASHEVILLE  
BUNCOMBE COUNTY, NORTH CAROLINA

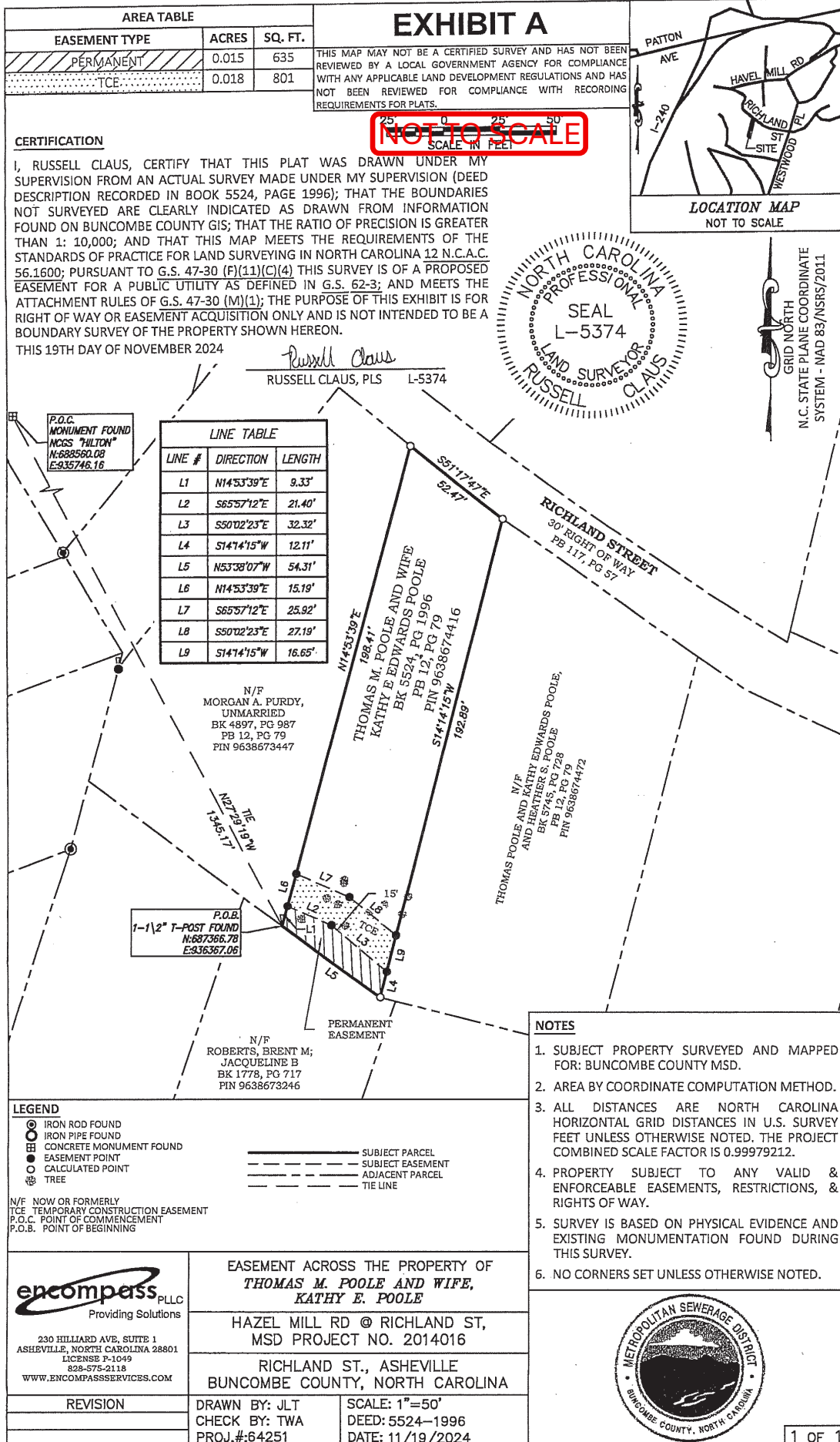
|                          |
|--------------------------|
| REVISION                 |
| 2/18/25 OWNERSHIP UPDATE |

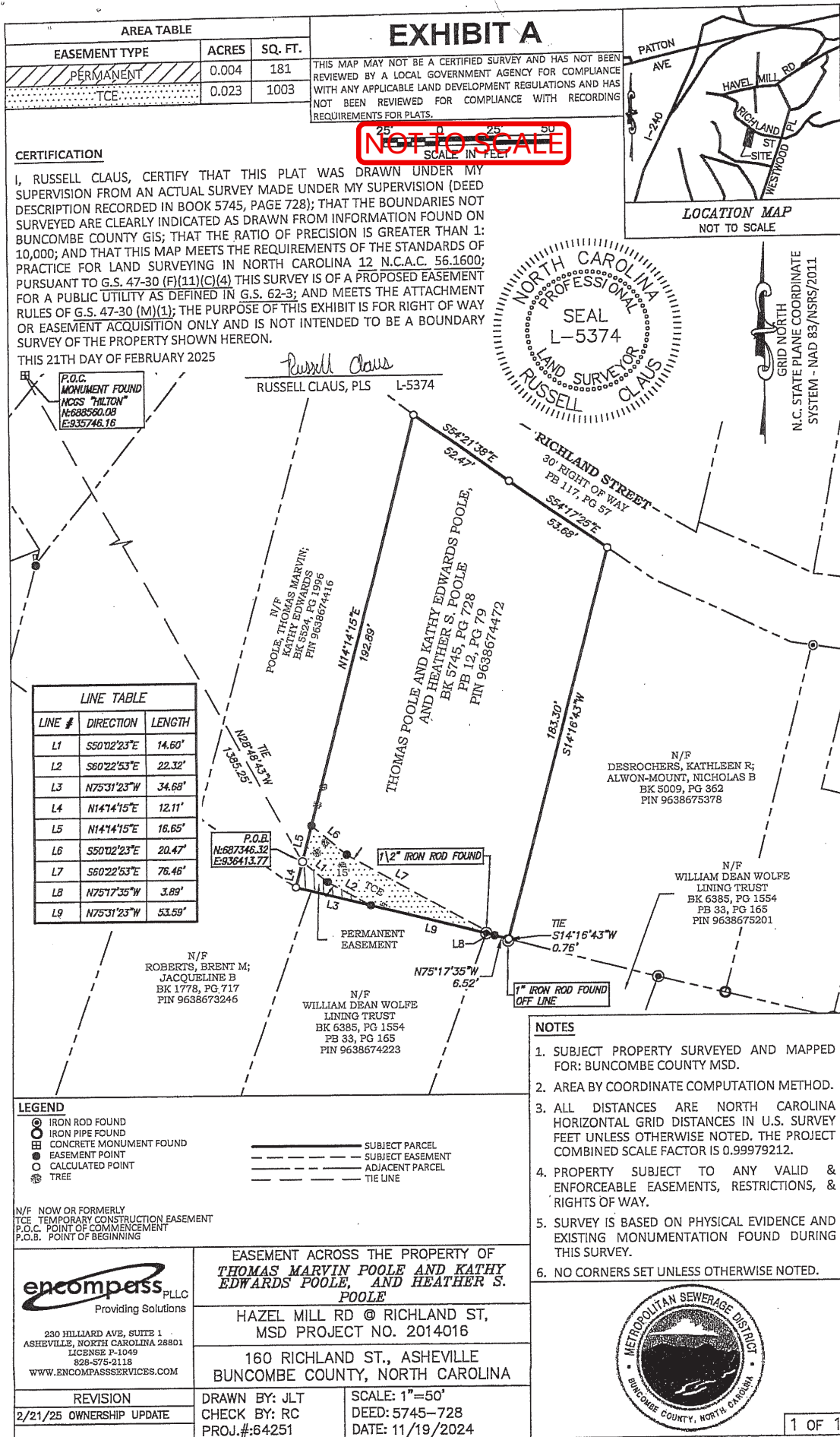
DRAWN BY: DTC  
CHECK BY: RC  
PROJ. #: 64251

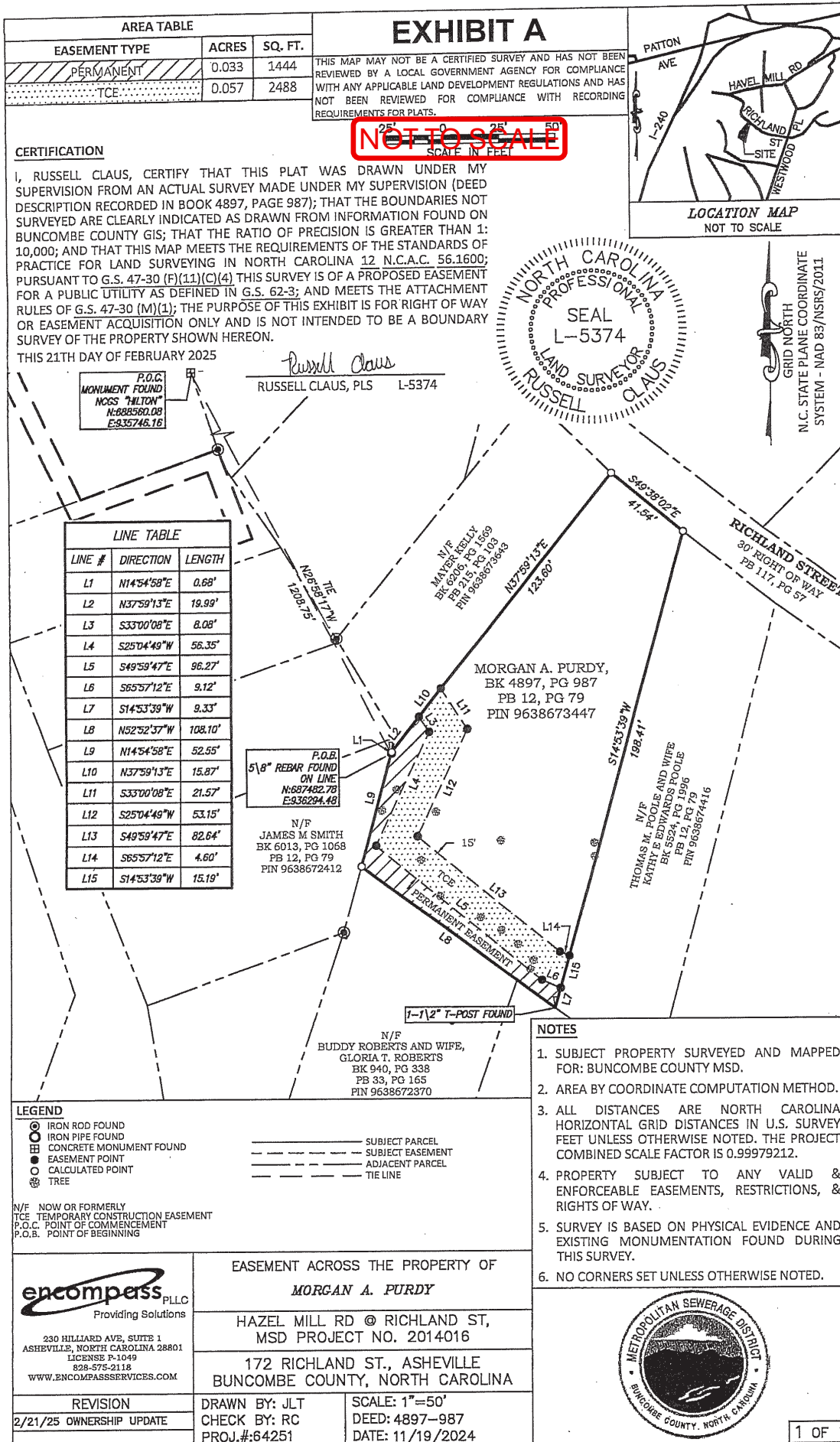
SCALE: 1"=50'  
DEED: 5585-462  
DATE: 11/19/2024

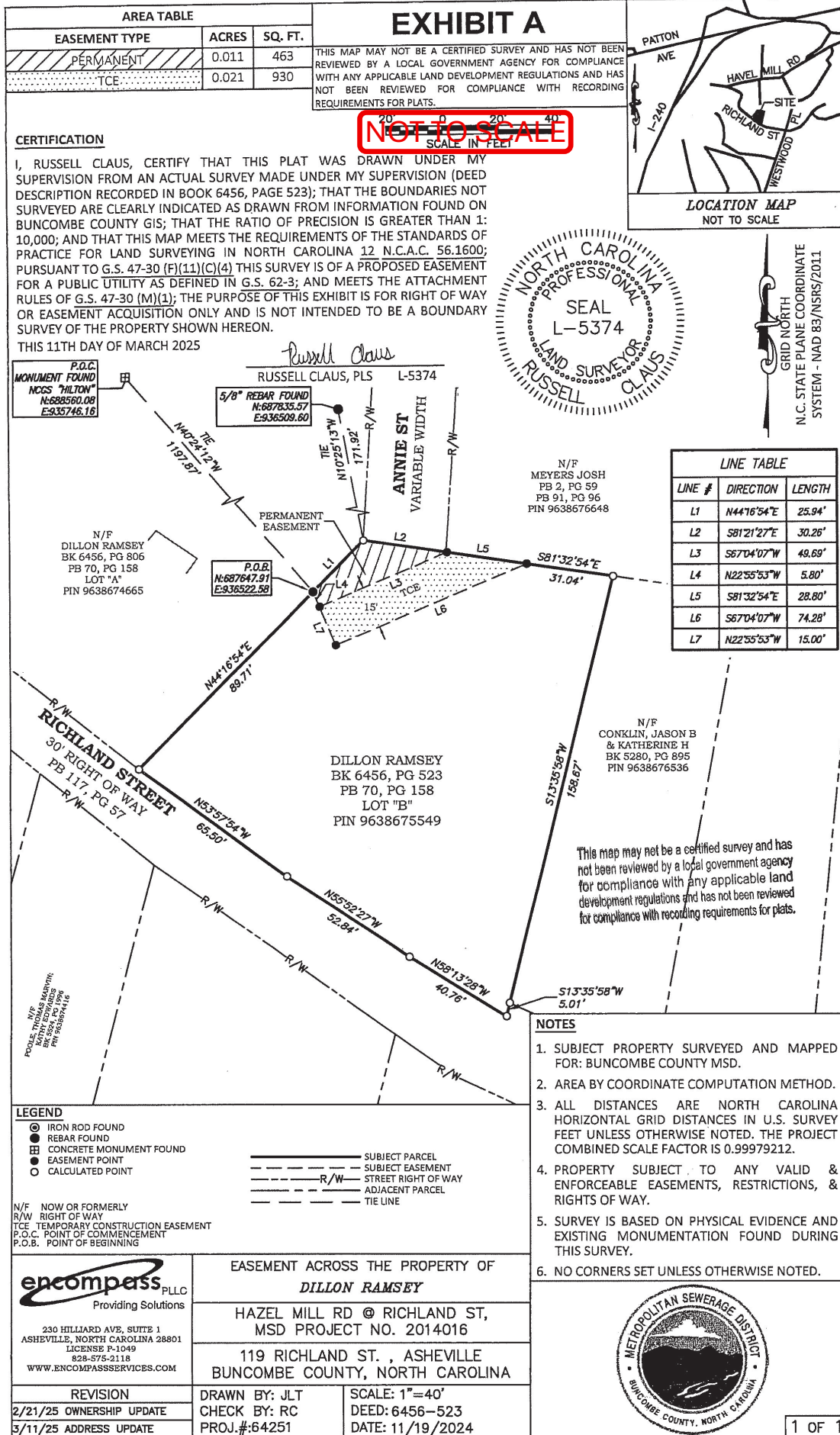


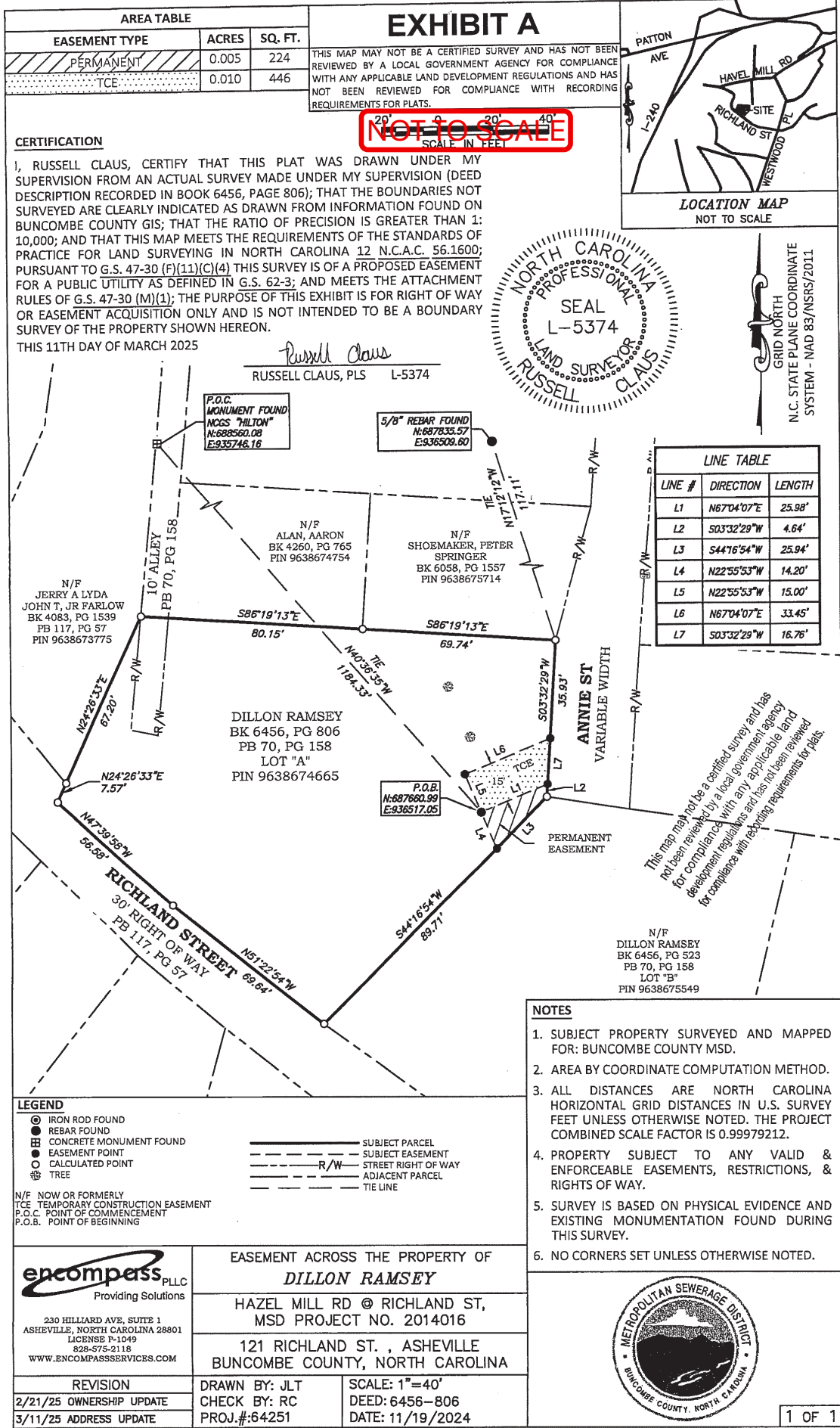


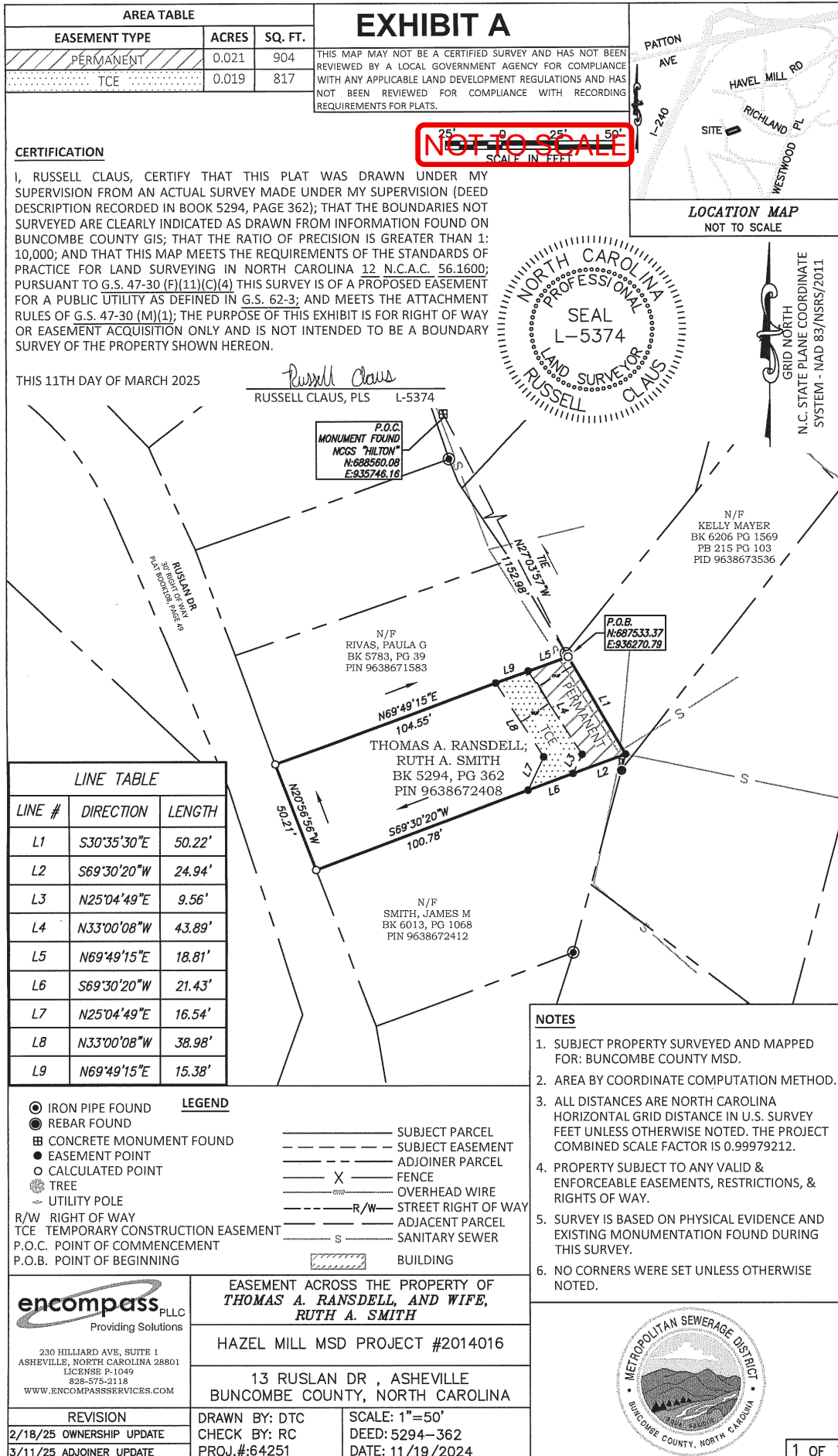


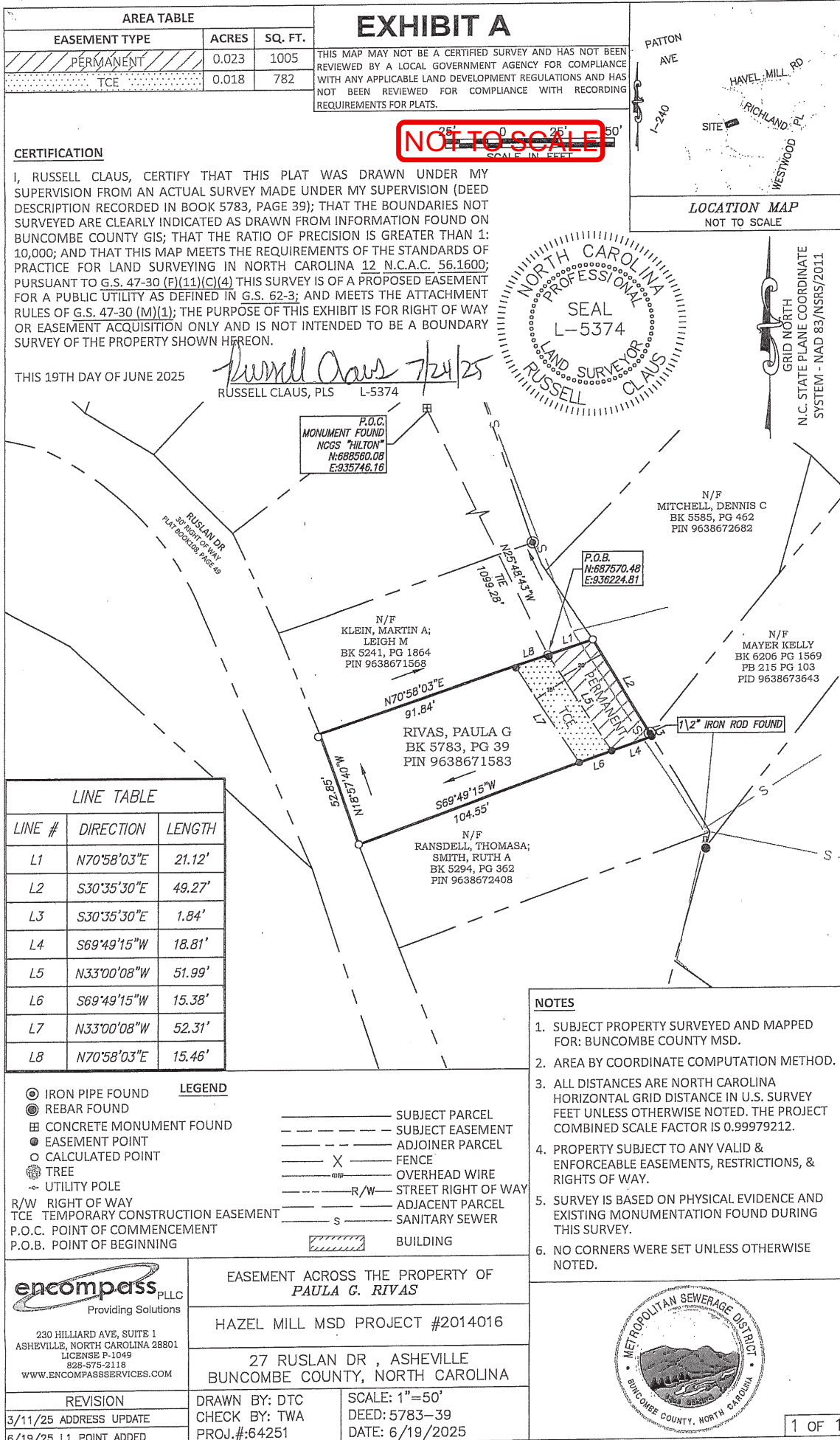




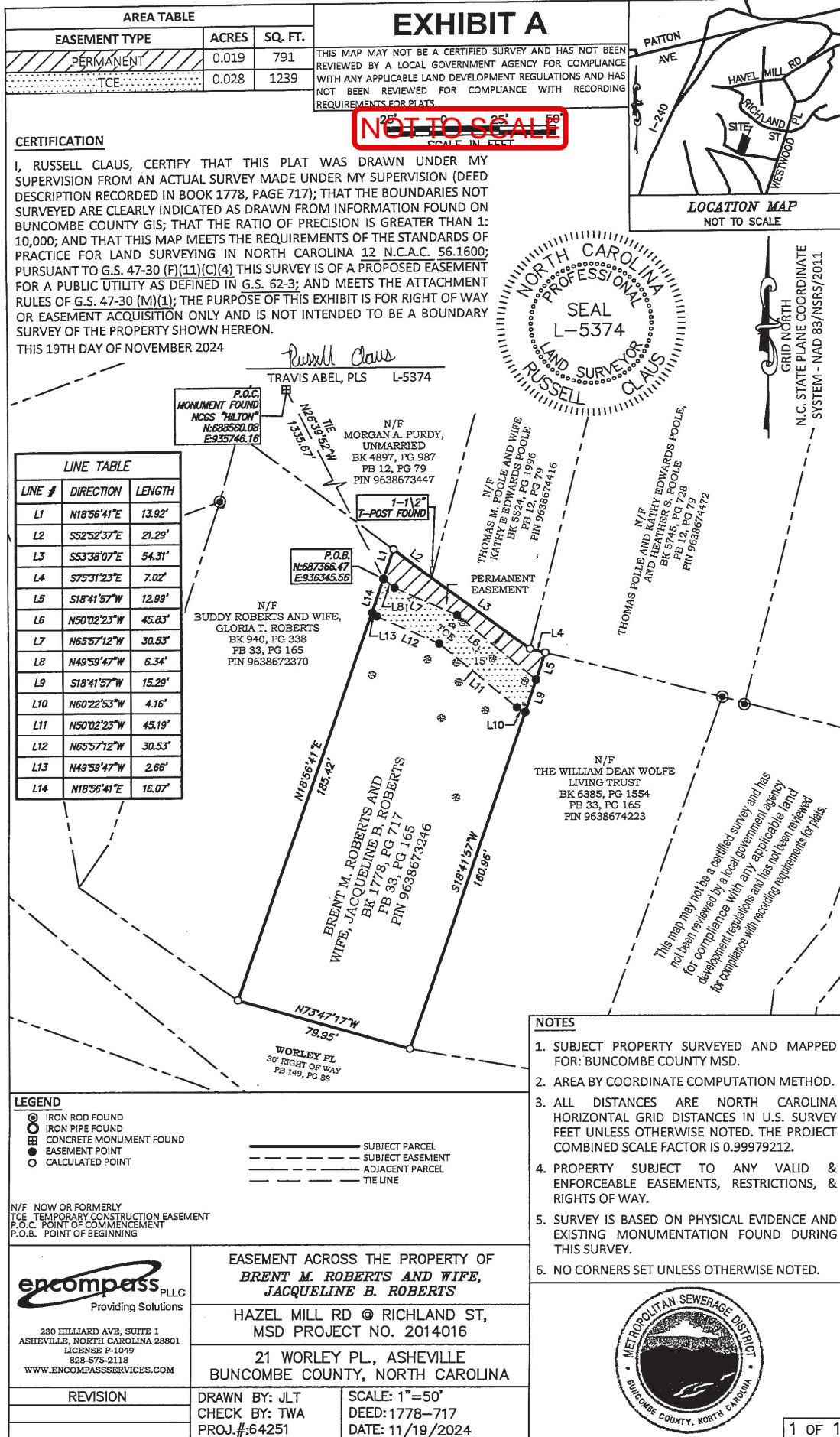












| AREA TABLE    |       |         |
|---------------|-------|---------|
| EASEMENT TYPE | ACRES | SQ. FT. |
| PERMANENT     | 0.047 | 2055    |
| TCE           | 0.033 | 1425    |

## EXHIBIT A

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

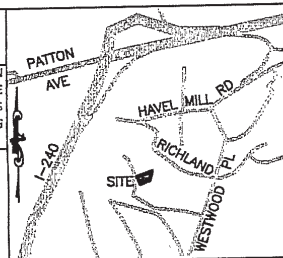
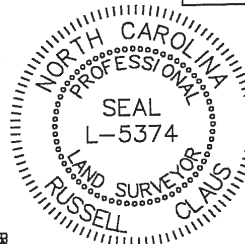
**NOT TO SCALE**

### CERTIFICATION

I, RUSSELL CLAUD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6013, PAGE 1068); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND ON BUNCOMBE COUNTY GIS; THAT THE RATIO OF PRECISION IS GREATER THAN 1: 10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA 12 N.C.A.C. 56.1600; PURSUANT TO G.S. 47-30 (F)(11)(C)(4) THIS SURVEY IS OF A PROPOSED EASEMENT FOR A PUBLIC UTILITY AS DEFINED IN G.S. 62-3; AND MEETS THE ATTACHMENT RULES OF G.S. 47-30 (M)(1); THE PURPOSE OF THIS EXHIBIT IS FOR RIGHT OF WAY OR EASEMENT ACQUISITION ONLY AND IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.

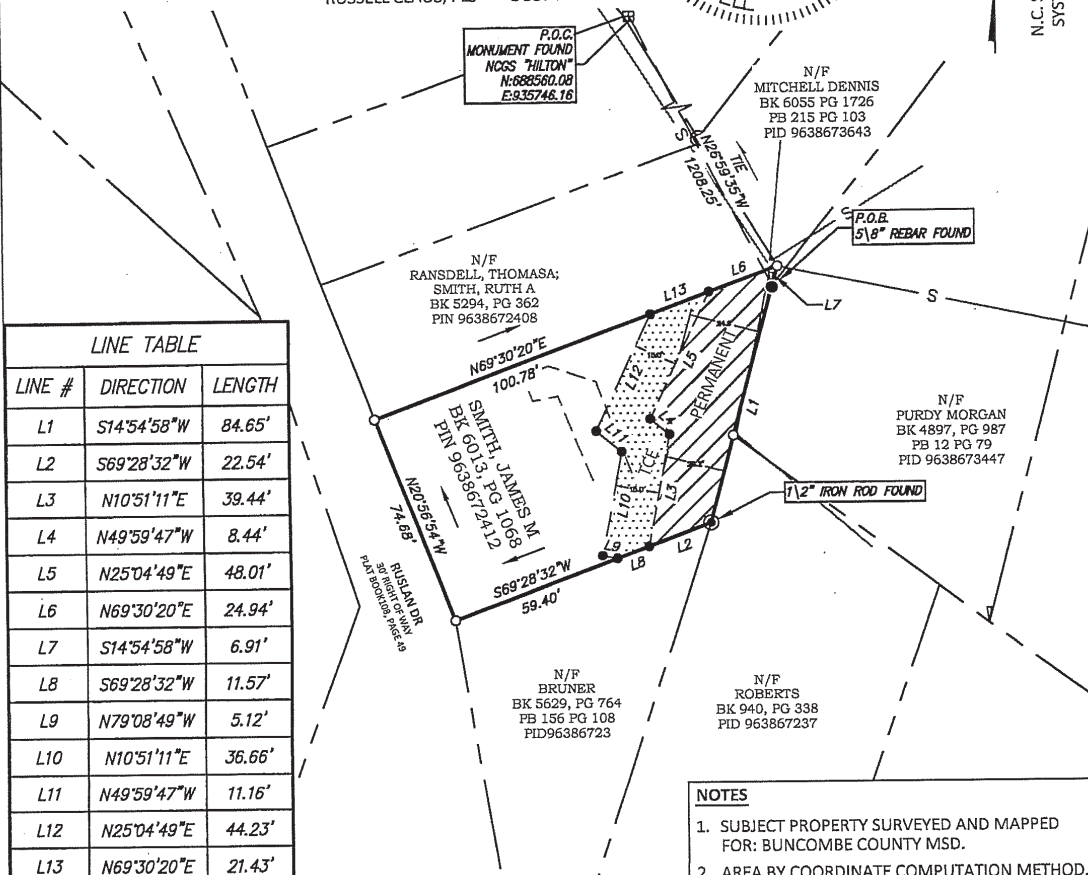
THIS 19TH DAY OF NOVEMBER 2024

*Russell Claus*  
RUSSELL CLAUD, PLS L-5374



LOCATION MAP  
NOT TO SCALE

GRID NORTH  
N.C. STATE PLANE COORDINATE  
SYSTEM - NAD 83/NSRS/2011



- IRON PIPE FOUND  
 ● REBAR FOUND  
 ■ CONCRETE MONUMENT FOUND  
 ● EASEMENT POINT  
 ○ CALCULATED POINT  
 \* TREE  
 ~ UTILITY POLE  
 R/W RIGHT OF WAY  
 TCE TEMPORARY CONSTRUCTION EASEMENT  
 P.O.C. POINT OF COMMENCEMENT  
 P.O.B. POINT OF BEGINNING

### LEGEND

- SUBJECT PARCEL  
 - - - SUBJECT EASEMENT  
 - - - ADJOINER PARCEL  
 X FENCE  
 --- OVERHEAD WIRE  
 - - - R/W STREET RIGHT OF WAY  
 - - - ADJACENT PARCEL  
 S SANITARY SEWER  
 [Hatched Box] BUILDING

### NOTES

- SUBJECT PROPERTY SURVEYED AND MAPPED FOR: BUNCOMBE COUNTY MSD.
- AREA BY COORDINATE COMPUTATION METHOD.
- ALL DISTANCES ARE NORTH CAROLINA HORIZONTAL GRID DISTANCE IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE PROJECT COMBINED SCALE FACTOR IS 0.99979212.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS, & RIGHTS OF WAY.
- SURVEY IS BASED ON PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND DURING THIS SURVEY.
- NO CORNERS WERE SET UNLESS OTHERWISE NOTED.

**encompass** PLLC  
Providing Solutions

230 HILLIARD AVE, SUITE 1  
ASHEVILLE, NORTH CAROLINA 28801  
LICENSE P-1049  
828-575-2118  
WWW.ENCOMPASSSERVICES.COM

EASEMENT ACROSS THE PROPERTY OF  
JAMES M. SMITH

HAZEL MILL MSD PROJECT #2014016

11 RUSLAN DR, ASHEVILLE  
BUNCOMBE COUNTY, NORTH CAROLINA

### REVISION

DRAWN BY: DTC  
CHECK BY: TWA  
PROJ.#: 64251

SCALE: 1"=50'  
DEED: 6013-1068  
DATE: 11/19/2024



